ROSEVILLE

REQUEST FOR CITY COUNCIL ACTION

Agenda Date: 05/22/17
Agenda Item: 7.h

Department Approval | City Manager Approval

Item Description: Consider the Preliminary Plat for Java Capital Partners for property addressed at 2038 and 2045 Twin Lakes Parkway (PF17-006).

APPLICATION INFORMATION

Applicant:	Java Capital Partners
Location:	2038 and 2045 Twin Lakes Parkway
Application Submission:	04/05/17; deemed complete 04/13/17
City Action Deadline:	06/04/17
Planning File History:	PF15-002

LEVEL OF DISCRETION IN DECISION MAKING: Actions taken on a Preliminary Plat request are **quasi-judicial**; the City's role is to determine the facts associated with the request, and weigh those facts against the legal standards contained in State Statute and City Code.

BACKGROUND

On July 6, 2015, Java Capital Partners received approval of their two-lot final plat, referred to as the Cleveland Club, and which included the development of an Aldi, Denny's and a multi-tenant retail or office building, and subsequently submitted a payment in lieu of park dedication in the amount of $123,298. Work is proceeding on the site development and Aldi and Denny's are nearing completion. That said, Java is requesting to create a separate lot for the Denny's so that it can be under separate ownership, much like the Aldi site/development.

When exercising the "quasi-judicial" authority on a plat request, the role of the City is to determine the facts associated with a particular request and apply those facts to the legal standards contained in the ordinance and relevant state law. In general, if the facts indicate the application meets the relevant legal standards and will not compromise the public health, safety, and general welfare, then the applicant is likely entitled to the approval. The City is, however, able to add conditions to a plat approval to ensure that the likely impacts to parks, schools, roads, storm sewers, and other public infrastructure on and around the subject property are adequately addressed. Proposals may also be modified to promote the public health, safety, and general welfare; to provide for the orderly, economic, and safe development of land, and to promote housing affordability for all levels.

STAFF REVIEW OF PRELIMINARY PLAT

The proposed preliminary plat seeks to create a separate lot, Lot 1, Block 1, Cleveland Club Second Addition, which is for the sole purpose of separate ownership for the Denny's development. The

proposed Lot 2, Block 1, Cleveland Club Second Addition will encompass the proposed retail/office building to be constructed in the future.

Plat proposals are reviewed primarily for the purpose of ensuring that all proposed lots meet the minimum size requirements of the zoning code, plan for adequate streets, public infrastructure are in place or identified and constructed, and that storm water is addressed to prevent problems either on nearby property or within the storm water system. As a PRELIMINARY PLAT of a Community Mixed Use-4 property, neither the zoning nor subdivision codes establish minimum requirements for area or width of lots. The proposed lot is not subject to park dedication. Cleveland Club Addition paid its park dedication payment for the overall development in 2015. There is also no need for utility and drainage easements on either side of the interior lot line. Such standards are established in Chapter 1103 (Design Standards) of the City Code.

The proposed PRELIMINARY PLAT documentation is included with this report as Attachment C.

The Development Review Committee (DRC) reviewed the proposal and did not have any concerns with the new lot configuration for the development.

STAFF RECOMMENDATION

Based on the information above and contained as an attachment to the report, the Planning Division recommends approval of the Preliminary Plat of Cleveland Club Second Addition.

PLANNING COMMISSION ACTION

On May 3, 2017, the Planning Commission held the duly noticed public hearing for the preliminary plat of Cleveland Club Second Addition. No citizens were present to address the Commission and Commissioners did not have any questions of the Planning staff.

The Planning Commission voted 6-0 to recommend approval of the preliminary plat, per the information detailed in the project report (RPCA).

SUGGESTED CITY COUNCIL ACTION

By motion, recommend approval of the PRELIMINARY PLAT for **Cleveland Club Second Addition,** based on the comments and findings stated above of this report.

ALTERNATIVE ACTIONS

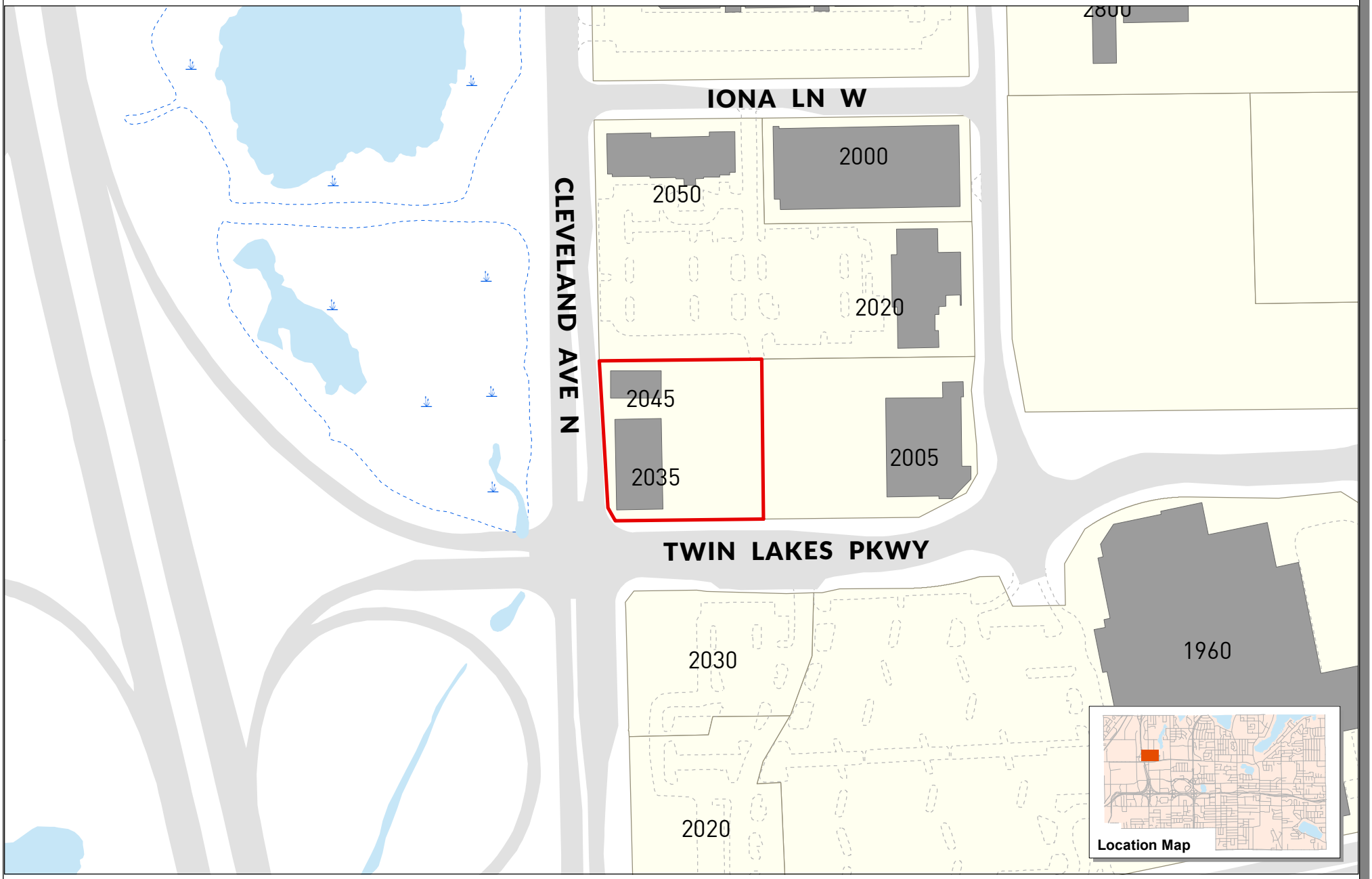
a. Pass a motion to table the item for future action. An action to table must be tied to the need for clarity, analysis, and/or information necessary to make a recommendation on the request.

b. Pass a motion recommending denial of the proposal. A motion to deny must include findings of fact germane to the request.

Report prepared by: **Thomas Paschke, City Planner**
651-792-7074
thomas.paschke@cityofroseville.com

Attachments: A. Base map B. Aerial photo
C. Proposed plat information

Attachment A for Planning File 17-004



ROSEVILLE

Prepared by:
Community Development Department
Printed: April 20, 2017

Site Location

Data Sources
* Ramsey County GIS Base Map (4/6/2017)
For further information regarding the contents of this map contact:
City of Roseville, Community Development Department,
2660 Civic Center Drive, Roseville MN

Disclaimer
This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The City does not warrant that the Geographic Information System (GIS) Data used to prepare this map are error free, and the City does not represent that the GIS Data can be used for navigational, tracking or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. If errors or discrepancies are found please contact 651-792-7085. The preceding disclaimer is provided pursuant to Minnesota Statutes §466.03, Subd. 21 (2000), and the user of this map acknowledges that the City shall not be liable for any damages, and expressly waives all claims, and agrees to defend, indemnify, and hold harmless the City from any and all claims brought by User, its employees or agents, or third parties which arise out of the user's access or use of data provided.

0 100 200 Feet

N

Attachment B for Planning File 17-006

ROSEVILLE

Prepared by:
Community Development Department
Printed: April 25, 2017

Site Location

Data Sources
* Ramsey County GIS Base Map (4/6/2017)
* Aerial Data: MnGeo (2016)

For further information regarding the contents of this map contact:
City of Roseville, Community Development Department,
2660 Civic Center Drive, Roseville MN

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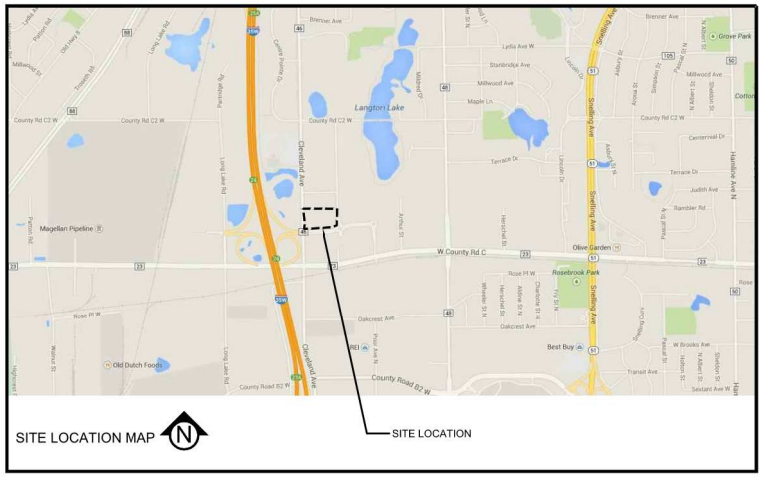
0 50 100 Feet

N

THE CLEVELAND CLUB

ROSEVILLE, MINNESOTA

ISSUED FOR: PRELIMINARY PLAT



DEVELOPER / PROPERTY OWNER:

JAVA CAPITAL PARTNERS 2700 CLEVELAND AVE L.L.C.
333 WASHINGTON AVENUE NORTH, SUITE 401
ROSEVILLE, MN 55401
612-384-9646

ENGINEER / LANDSCAPE ARCHITECT:

CIVIL SITE GROUP
4931 W 35TH STREET
SUITE 200
ST LOUIS PARK, MN 55416
612-815-0060

SURVEYOR:

ACRE LAND SURVEYING, INC.
9140 BALTIMORE STREET NE, SUITE 100
BLAINE, MN 55449
763-458-2997

GEOTECHNICAL ENGINEER:

NORTHERN TECHNOLOGIES, INC.
1408 NORTHLAND DRIVE, SUITE 107
MENDOTA HEIGHTS, MN 55120
763-433-9175

MASTER LEGEND:

932	EX. 1' CONTOUR ELEVATION INTERVAL
49.8	EXISTING SPOT GRADE ELEVATION
939	PROPOSED 1' CONTOUR ELEVATION INTERVAL
932.0	SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)
932.0BC / 932.0TC	SPOT GRADE ELEVATION BACK OF CURB (TOP OF CURB)
932.0TW	SPOT GRADE ELEVATION TOP OF WALL
932.0BW	SPOT GRADE ELEVATION BOTTOM OF WALL
	DRAINAGE ARROW
EOF	EMERGENCY OVERFLOW
	SILT FENCE / GRADING LIMIT
	INLET PROTECTION
	STABILIZED CONSTRUCTION ENTRANCE
	SOIL BORING LOCATION
	CURB AND GUTTER (T.O = TIP OUT)
	PROPOSED MANHOLE STORM
	PROPOSED CATCH BASIN OR CATCH BASIN MANHOLE STORM
	PROPOSED GATE VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED MANHOLE SANITARY
	PROPOSED SIGN
	PROPOSED LIGHT
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER MAIN
G	EXISTING GAS MAIN
E	EXISTING UNDERGROUND ELECTRIC
C	EXISTING UNDERGROUND CABLE
	EXISTING MANHOLE
	EXISTING CATCH BASIN
	EXISTING HYDRANT
	EXISTING STOPBOX
	EXISTING GATE VALVE
	EXISTING ELECTRIC BOX
	EXISTING LIGHT
	EXISTING GAS METER
	EXISTING GAS VALVE

GOPHER STATE ONE CALL
WWW.GOPHERSTATEONECALL.ORG
(800) 252-1166 TOLL FREE
(651) 454-0002 LOCAL

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
C0.1	SITE SURVEY
C0.2	PRELIMINARY PLAT
C1.0	REMOVALS PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	DETAILS
C5.1	DETAILS
C5.2	DETAILS
C5.3	DETAILS
C5.4	DETAILS
C5.5	DETAILS
C5.6	DETAILS
C5.7	DETAILS
L1.0	LANDSCAPE PLAN
SW1.0	STORM WATER POLLUTION PREVENTION PLAN - EXISTING CONDITIONS
SW1.1	STORM WATER POLLUTION PREVENTION PLAN - PROPOSED CONDITIONS
SW1.2	STORM WATER POLLUTION PREVENTION PLAN - DETAILS
SW1.3	STORM WATER POLLUTION PREVENTION PLAN - NARRATIVE
SW1.4	STORM WATER POLLUTION PREVENTION PLAN - NOTES
SW1.5	STORM WATER POLLUTION PREVENTION PLAN - NOTES

CivilSite GROUP
4931 W. 35TH ST. SUITE 200
ST. LOUIS PARK, MN 55416
CivilSiteGroup.com
Matt Pavek 763-213-3944
Pat Sarver 952-250-2003

DJR ARCHITECTURE, INC
333 Washington Ave N, Suite 210
Minneapolis, Minnesota 55401
612.676.2700 www.djr-inc.com

PROJECT
THE CLEVELAND CLUB
2700 CLEVELAND
2700 CLEVELAND AVENUE, ROSEVILLE, MN
JAVA CAPITAL PARTNERS 2700 CLEVELAND AVE L.L.C.
2007 W. FRANKLIN AVENUE, MINNEAPOLIS, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavek
DATE 4/5/17 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
12/15/14	PRELIMINARY PLAT SUBMITTAL
5/29/15	PRELIM. FINAL PLAT SUBMITTAL
6/5/15	FINAL PLAT SUBMITTAL
8/7/15	WATERSHED RESUBMITTAL
8/13/15	WATERSHED RESUBMITTAL
10/8/15	PERMIT SUBMITTAL
3/11/16	REVISED PERMIT SUBMITTAL
4/11/16	REVISED SANITARY SERVICES
4/26/16	REVISED PERMIT SUBMITTAL
6/22/16	CONSTRUCTION DOCUMENTS
6/30/16	CONSTRUCTION DOCUMENTS-FINAL
7/08/16	CDS- ARCH FLR PLAN- WEST
4/05/17	PRELIMINARY PLAT

REVISION SUMMARY

DATE	DESCRIPTION

TITLE SHEET

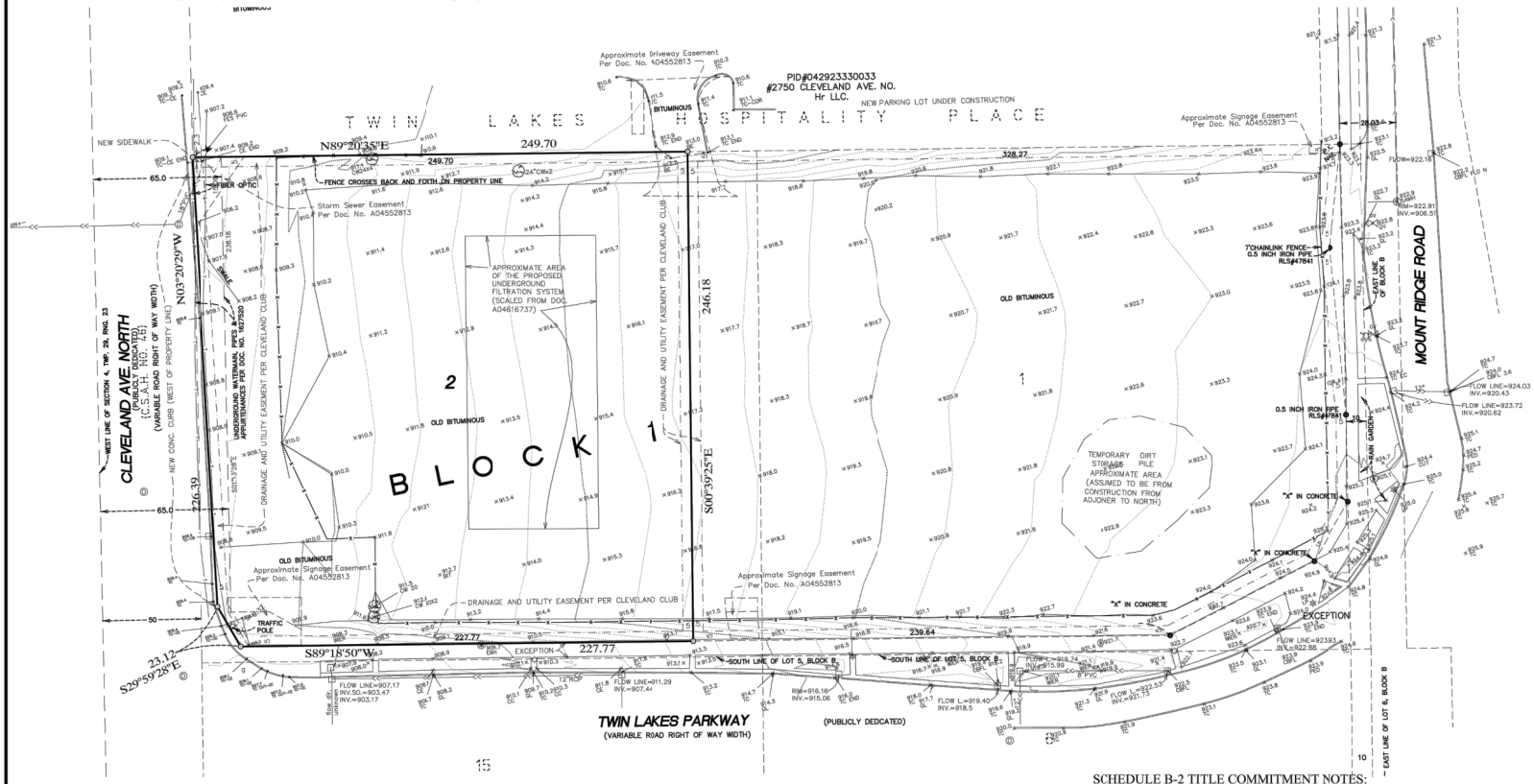
C0.0

Attachment C

ALTA/NSPS LAND TITLE SURVEY

~for~ JAVA CAPITAL PARTNERS 2700 CLEVELAND AVE LLC

EXISTING CONDITIONS SHEET 1 OF 2 SHEETS

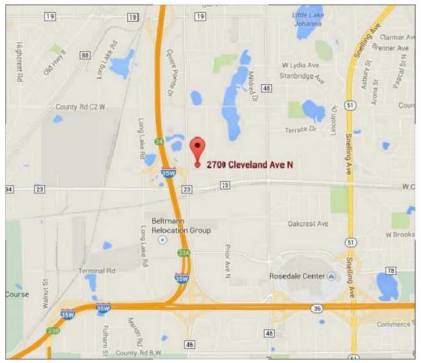


NORTH

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

VICINITY MAP



LEGEND

- ● DENOTES IRON MONUMENT FOUND
- ○ DENOTES SET MONUMENT
- Ⓢ DENOTES SANITARY SEWER MANHOLE
- Ⓓ DENOTES STORM SEWER MANHOLE
- □ DENOTES CATCH BASIN
- DENOTES FIRE HYDRANT
- DENOTES STORM SEWER
- DENOTES SANITARY SEWER
- DENOTES TELEPHONE / FIBER OPTIC
- DENOTES ABOVE GROUND GAS MARKING
- DENOTES UTILITY BOX
- DENOTES EXISTING FENCE

LEGAL DESCRIPTION:

Per Title Commitment Number 62847 Supp. No.1

Lot 2, Block 1, Cleveland Club, according to the recorded plat thereof, Ramsey County, Minnesota, together with appurtenant easement(s) for driveway, parking, water flowage and signage purposes contained in Document No. 4552813 as amended by First Amendment filed as Document No. _____, and together with appurtenant easement(s) for driveway, parking, utility, water flowage and signage purposes contained in Document No. 4599467, and together with appurtenant easement(s) for right of way, signage, parking and temporary construction purposes contained in Easement anc Restriction Agreement filed as Document No. _____.

(Abstract Property)

GENERAL NOTES:

- BEARING SYSTEM IS BASED ON THE PLAT OF CLEVELAND CLUB.
- SUBJECT PROPERTY ADDRESS IS #xxx CLEVELAND AVE. NO., ROSEVILLE, MN 55113.
- PROPERTY IDENTIFICATION # (A.K.A. P.I.D.) = 04-29-23-33-0035 (per Ramsey County Property GIS Map).

ALTA "TABLE A" NOTES:

1. All monuments either found or set as shown hereon.

3. Subject property lies within flood plain zone "x" (areas determined to be outside the 0.2% annual chance floodplain), per FEMA, FIRM Map No. 27123C0020G dated June 4th, 2010.

4. Gross land area = ±59,960 or 1.38 acres

6a. Zoning letter for 2700 Cleveland Avenue, per City of Roseville, dated September 19, 2014, subject property Zoned Community Mixed-Use-4 (CMU-4) District. The letter doesn't address any setbacks, height and floor space, or parking requirements.

6b. The surveyor cannot show any setback lines due to the Zoning Letter from the city doesnt list any setbacks for the property.

7a. There are no buililngs present on property.

9. There are no striped parking areas on subject property.

10(a). There are no division or party walls with respect to adjoining properties.

11. Utilities shown hereon are observed. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location prior to excavation. Gopher State One Call was contacted as part of this survey per ticket #1-2730868. It is this surveyors belief not all utilities onsite and adjacent to site were marked out by said Gopher State One Call ticket referenced.

13. Names of adjacent property owners shown.

16. There is observable evidence of earth moving work. There is no observable evidence of building construction or building additions. There is newer concrete curb that has been place near the west line of subject property.

17. There are no known changes to right-of-ways proposed.

19. Offsite easements and appurtenant easements as cited in documents 45528134 & 4599467 are vague, and some are blanket in nature, see documents for details.

SCHEDULE B-2 TITLE COMMITMENT NOTES:

6. UTILITY AND DRAINAGE EASEMENT(S) OVER PART OF SUBJECT PREMISES AS SHOWN ON THE RECORDED PLAT OF CLEVELAND CLUB. ~ AS SHOWN

7. WATER MAIN EASEMENT(S) OVER PART OF SUBJECT PREMISES AS EVIDENCED BY DOCUMENT NO(S). 1627520 ~ EASEMENT IS SHOWN ON SURVEY.

8. TERMS, CONDITIONS AND EASEMENTS OF AGREEMENT FOR RECIPROCAL EASEMENTS AND RESTRICTIVE COVENANT DATED APRIL 14, 2015, FILED APRIL 22, 2015 AS DOCUMENT NUMBER. A04552813. ~ACCESS DRIVEWAY, SIGNAGE, AND STORM AS SHOWN APPROXMATELY PER MAP. THE AREAS ARE NOT LEGALLY DESCRIBED. ~ BLANKET ACCESSEASEMENTS AND FLOWAGE EASEMENTS TO THE HOTEL PROFERTY TO NORTH.

9. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS CONTAINED IN DECLARATION OF EASEMENT RIGHTS AND RESTRICTIVE COVENANTS DATED DECEMBER 8, 2015, FILED MARCH 22, 2016, AS DOCUMENT NO. 4599467 .~ Blanket Parking and Access Easments between Lot 1 anc Lot 2, Cleveland Club; Signage Exhibit, right and right out Exhibits and Utility exhibits only display general layout of said items. Not Plottable.

10. COVENANTS, CONDITIONS AND RESTRICTIONS OF DECLARATION FOR MAINTENANCE OF STORMWATER FACILITIES DATED JUNE 20, 2016, FILED JULY 22, 2016, AS DOCUMENT NO. 4615952 AND CORRECTIVE INSTRUMENT FILED JULY 27, 2016, AS DOCUMENT NO. 4615952 AND CORRECTIVE INSTRUMENT FILED JULY 27, 2016, AS DOCUMENT NO. 4616737 . ~ Surveyor is showing approximate area of Infiltration Basin, but the easement area is undefinable. See Document for details.

FIRST AMENDMENT TO AGREEMENT (A04552813) FOR RECIPROCAL EASEMENTS AND RESTRICTIVE COVENEANT (UNRECORDED) ~ Surveyor is showing approximat areas of the Signage Easement, Access Easement, & Storm Sewer Easement, but the easement areas of hem all are undefinable. See Document for details.

New Easment and Restriction Agreement (Unsigned) - Blanket in Naturs, The Proposed Site Plan at current scale is illegible. See Document for details. The surveyor is attaching the Proposed Site Planlast revised 7-08-16, per CIVIL SITE GROUP on sheet 2 of 2.

BENCHMARK

TOP NUT FIRE HYDRANT, SW RADIUS OF CENTER POINTE DRIVE & CLEVELAND AVE., 12.6 FEET WEST OF THE BACK OF THE WESTERLY CURB; 19.0 FEET SOUTH OF FIRE HYDRANT AND 0.5' EAST OF SIGN AND POST. ELEV. = 906.64 (NGVD 1929 DATUM) (COUNTY COORDS. X=550603.1,Y=185297.9)

REVISION SUMMARY

DATE	DESCRIPTION

SITE SURVEY

C0.1

To Guaranty Commercial Title, Inc., Java Capital Partners 2700 Cleveland Ave L.L.C, Aldi, Inc., "Bridgwater Bank, its successors and/or assigns", and Old Republic National Title Insurance Company :

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and inclucies Items 1, 2, 3, 4, 7(a), 9, 11, 13, 16, 17, and 19 of Table A thereof. The fieldwork was completed on *7-19-2016.*

Date of Map: 10/11/2016

Eric R. Vickaryous, P.L.S.#44125

ACRE LAND SURVEYING
Serving Twin Cities Metro area and beyond
763-458-2997 acrelandsurvey@gmail.com

C:\Users\Eric\OneDrive\CAD-1D\14543alta-civil-cleveland\dwg\16408alta Supp 1.dwg 10/11/2016 4:40:53 PM CDT

JOB #16408 Supp No. 1

Attachment C

PRELIMINARY PLAT OF CLEVELAND CLUB SECOND ADDITION

FOR: JAVA CAPITAL PARTNERS 2700

PROPERTY ADDRESS: ~UNASSIGNED~
ROSEVILLE, MN

PROPERTY IDENTIFICATION NUMBER: 042923330035

LEGEND

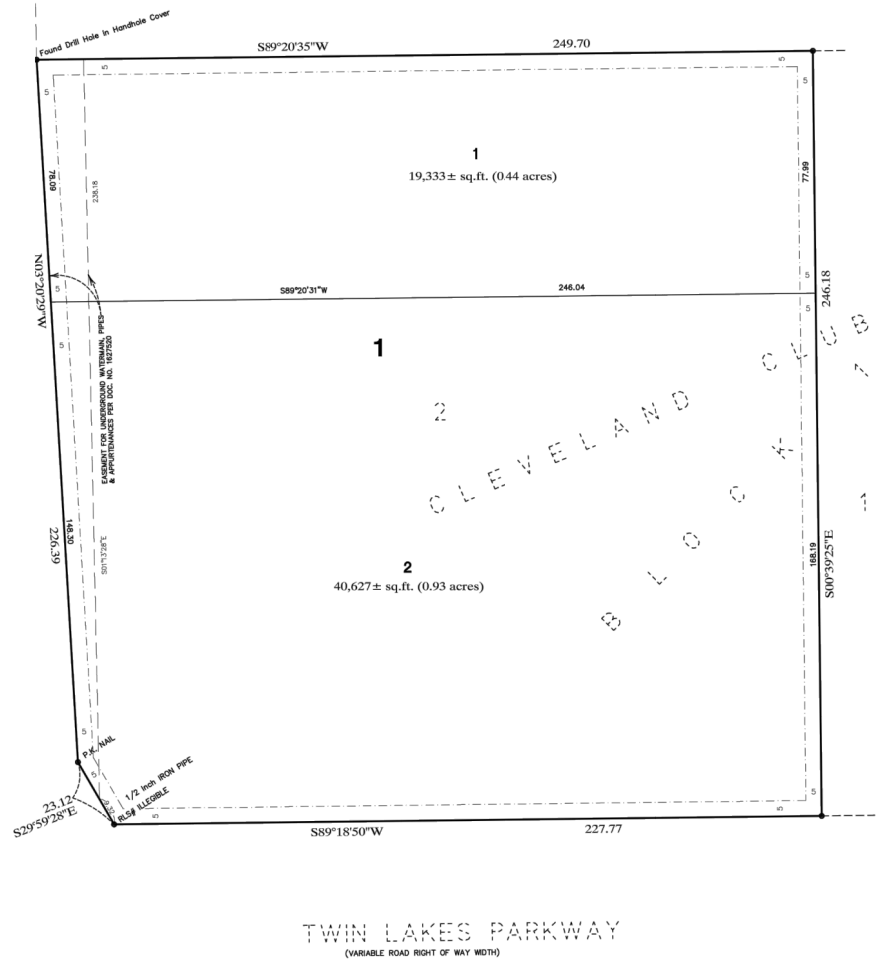
● DENOTES IRON MONUMENT FOUND

NORTH

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.



EXISTING PROPERTY DESCRIPTION

Lot 2, Block 1, CLEVELAND CLUB, Ramsey County, Minnesota.

DEVELOPMENT DATA:

- PROPERTY ZONED CMU4 (Community Mixed Use)
- SETBACKS: TO BE DETERMINED AND APPROVED BASED ON SITE PLAN AS PREPARED AND SUBMITTED BY OTHERS.
- SETBACKS TO BE DETEFMINED ON SITE PLAN.

TOTAL LAND AREA: 59,960 s.f. or 1.38± ACRES

- 2 LOTS BEING DEVELOPED.

NOTES

- Bearing's shown are based on Ramsey County coordinate system.
- This survey was prepared without the benefit of titlework. Easement, appurtenances and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a title insurance commitment or attorneys title opinion.

DEVELOPER

Java Capital Partners 2700 Cleveland Ave LLC
#333 Washington Ave., Unit 401
Minneapolis, MN

SURVEYOR

ACRE LAND SURVEYING,
ERIC R. VICKYAROUS
9140 BALTIMORE ST NE
STE 100
BLAINE, MN 55449
763-458-2997

CIVIL ENGINEER

CIVIL SITE GROUP INC.
#4931 W. 35th St., Suite #200
St. Louis Park, MN 55416
psarver@civilsitegroup.com
952-250-2003

REVISION SUMMARY

DATE	DESCRIPTION

PRELIMINARY PLAT

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

ERIC R. VICKARYOUS

Date: April 3rd, 2017 Reg. No. 44125

ACRE LAND SURVEYING
Serving Twin Cities Metro area and beyond
763-458-2997 acrelandsurvey@gmail.com

DRAWN BY:	JOB NO: 17157	DATE: 04/03/17
CHECK BY:	SCANNED ☐	

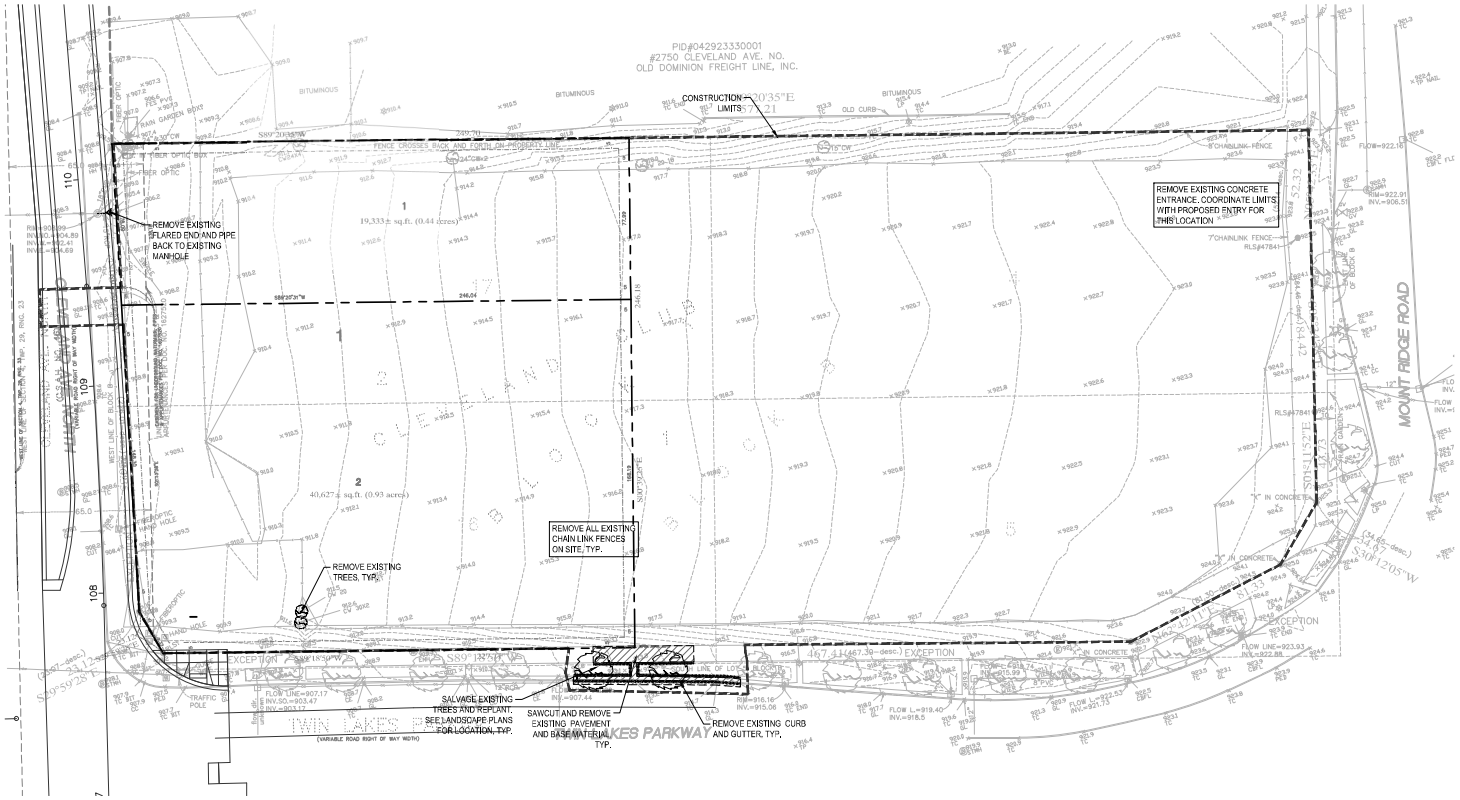
NO.	DATE	DESCRIPTION	BY

JOB #17157

C:\Users\eric_j\OneDrive\CAD-1D\14543alta-civil-cleveland\dwg\17157.dwg 4/3/2017 11:27:48 AM CDT

C0.2

Attachment C



REMOVAL NOTES:

1. SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
2. REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
3. REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
4. EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
5. REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
6. ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
7. EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
8. PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
9. MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS.
10. DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
11. PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
12. SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
13. VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
14. ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
15. SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
16. STAGING, DEMOLITION AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.

CITY OF ROSEVILLE REMOVAL NOTES:

1. RESERVED FOR CITY SPECIFIC REMOVAL NOTES.

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1.0-SW1.5

REMOVALS LEGEND:

------932 -------- EX. 1' CONTOUR ELEVATION INTERVAL

REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PVMTS.

TREE PROTECTION

TREE REMOVAL - INCLUDING ROOTS AND STUMPS

GOPHER STATE ONE CALL
WWW.GOPHERSTATEONECALL.ORG
(800) 252-1166 TOLL FREE
(651) 454-0002 LOCAL

1" = 30'-0"
15'-0" 0 30'-0"

CivilSite GROUP
4931 W. 35TH ST. SUITE 200
ST. LOUIS PARK, MN 55416
CivilSiteGroup.com
Matt Pavek 763-213-3944
Pat Sarver 952-250-2003

DJR ARCHITECTURE, INC
333 Washington Ave N, Suite 210
Minneapolis, Minnesota 55401
612.676.2700 www.djr-inc.com

PROJECT

THE CLEVELAND CLUB
2700 CLEVELAND

2700 CLEVELAND AVENUE, ROSEVILLE, MN

JAVA CAPITAL PARTNERS 2700 CLEVELAND AVE L.L.C.

2007 W. FRANKLIN AVENUE, MINNEAPOLIS, MN

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Matthew R. Pavek

DATE 4/5/17 LICENSE NO. 44263

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DATE	DESCRIPTION
12/15/14	PRELIMINARY PLAT SUBMITTAL
5/29/15	PRELIM. FINAL PLAT SUBMITTAL
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8/7/15	WATERSHED RESUBMITTAL
8/13/15	WATERSHED RESUBMITTAL
10/8/15	PERMIT SUBMITTAL
3/11/16	REVISED PERMIT SUBMITTAL
4/11/16	REVISED SANITARY SERVICES
4/28/16	REVISED PERMIT SUBMITTAL
6/22/16	CONSTRUCTION DOCUMENTS
6/30/16	CONSTRUCTION DOCUMENTS-FINAL
7/08/16	CDS- ARCH FLR PLAN- WEST
4/05/17	PRELIMINARY PLAT

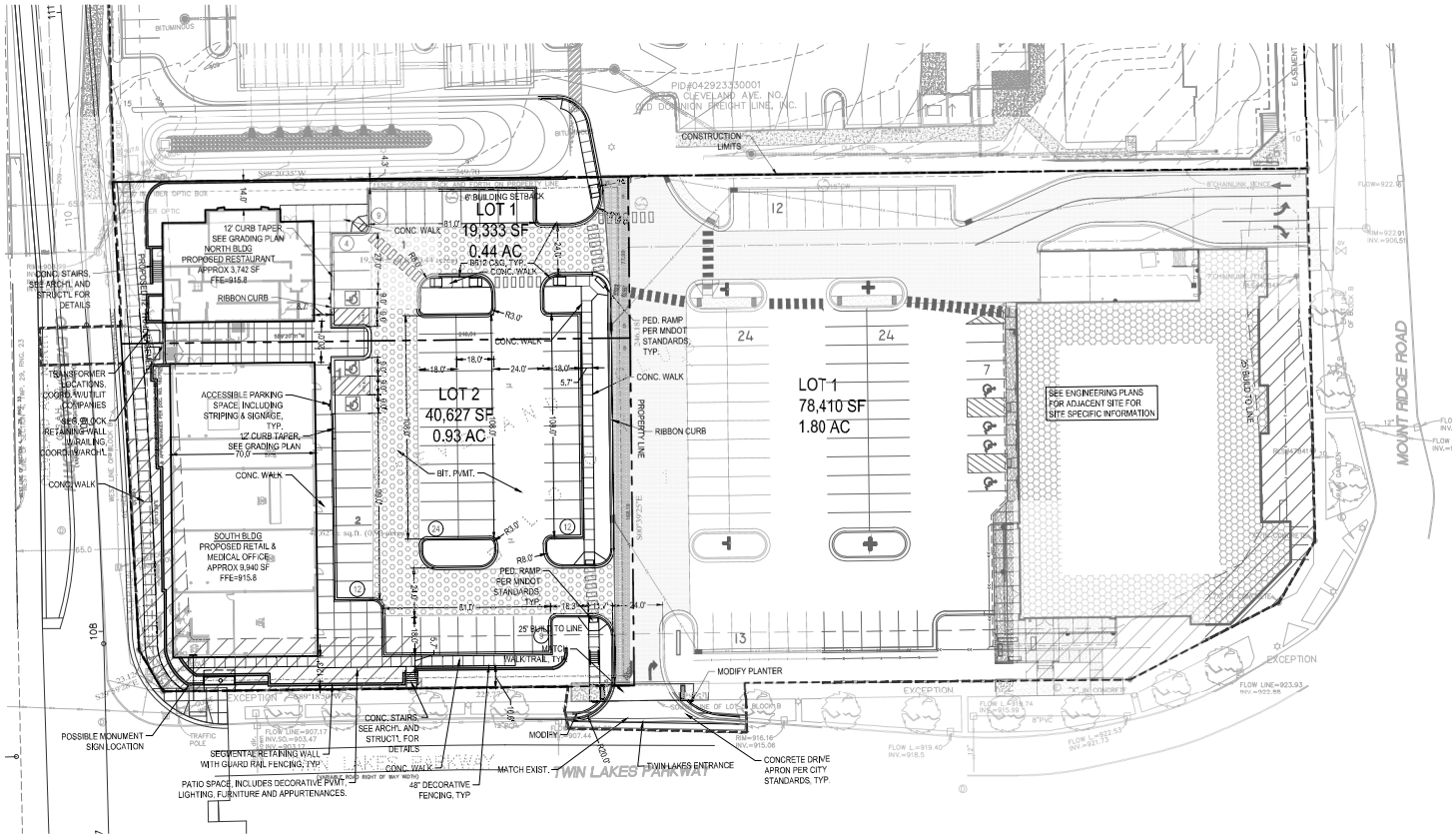
REVISION SUMMARY

DATE	DESCRIPTION
7/19/16	ADD. #1

REMOVALS PLAN

C1.0

Attachment C



SITE LAYOUT NOTES:

1. CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCATIONAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS, STAKE LAYOUT FOR APPROVAL.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
3. THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
4. CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
5. LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
6. CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
7. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
8. PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
9. CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. WIDTH OF CROSSWALK SHALL BE 5' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
10. CURB AND GUTTER TYPE SHALL BE B612 UNLESS OTHERWISE NOTED ON THE DRAWINGS-TAPER BETWEEN CURB TYPES-SEE DETAIL.
11. ALL CURB RADII ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
13. FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
14. PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
15. ALL PARKING LOT PAINT STRIPPING TO BE WHITE, 4" WIDE TYP.
16. ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.
17. PROVIDE ACCESSIBLE CURB RAMPS AT ALL WALKS WHERE CROSSWALKS ARE PROPOSED

CITY OF ROSEVILLE SITE SPECIFIC NOTES:

1. ALL RETAINING WALL GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER. ALL RETAINING WALL PLANS SHALL BE REVIEWED BY THE CITY.

SITE AREA CALCULATIONS

	EXISTING - LOT 2, BLK 1, CLEVELAND CLUB		PROPOSED LOT 1, BLK 1, CLEVELAND CLUB 2ND ADD.		PROPOSED LOT 2, BLK 1, CLEVELAND CLUB 2ND ADD.	
BUILDING COVERAGE	0 SF	0.0%	3,742 SF	19.4%	9,940 SF	24.5%
ALL PAVEMENTS	0 SF	0.0%	11,327 SF	58.6%	24,343 SF	59.9%
ALL NON-PAVEMENTS	59,960 SF	100.0%	4,264 SF	22.1%	6,344 SF	15.6%
TOTAL SITE AREA	59,960 SF	100.0%	19,333 SF	100.0%	40,627 SF	100.0%

IMPERVIOUS SURFACE	TOTAL	
EXISTING CONDITION	0 SF	0.0%
PROPOSED CONDITION LOT 1	15,069 SF	77.9%
DIFFERENCE (EX. VS PROP.)	15,069	77.9%
PROPOSED CONDITION LOT 2	34,283	84.4%
DIFFERENCE (EX. VS PROP.)	34,283	84.4%
TOTAL IMPERVIOUS (LOTS 1 & 2)	49,352 SF	82.3%
TOTAL DELTA CHANGE (LOTS 1 & 2)	49,352 SF	82.3%

SITE PLAN LEGEND:

- CONCRETE PAVEMENT AS SPECIFIED (PAD OR WALK)
- PROPERTY LINE
- CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN
- TRAFFIC DIRECTIONAL ARROWS
- SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED. HC = ACCESSIBLE SIGN NP = NO PARKING FIRE LANE ST = STOP CP = COMPACT CAR PARKING ONLY
- NORMAL DUTY BIT. PAVEMENT
- HEAVY DUTY BIT. PAVEMENT

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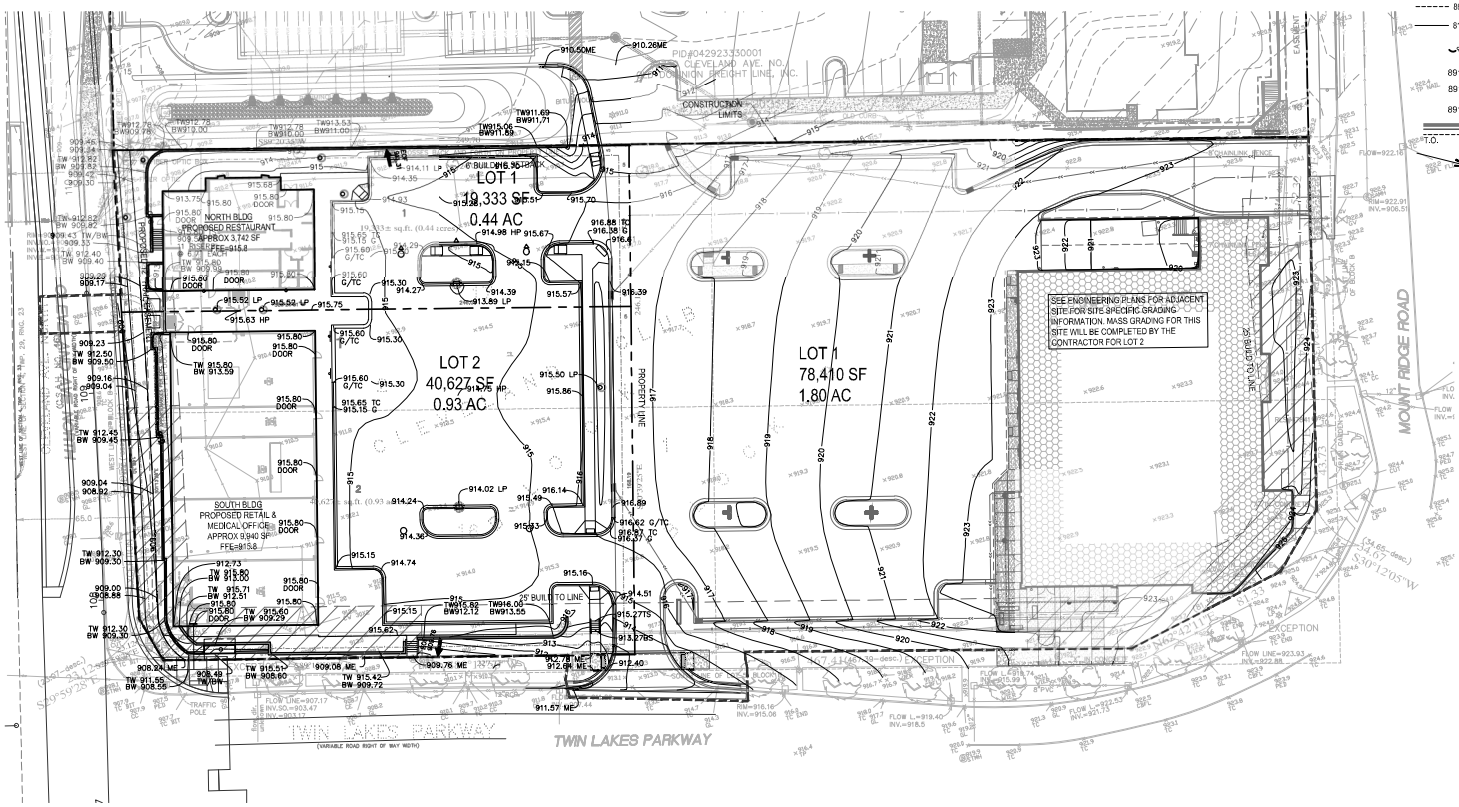
-	-
-	-
-	-

SITE PLAN

C2.0

Attachment C



GRADING PLAN LEGEND:

891	EX. 1' CONTOUR ELEVATION INTERVAL
819	1.0' CONTOUR ELEVATION INTERVAL
891.0	SPOT GRADE ELEVATION (FLOW LINE UNLESS OTHERWISE NOTED)
891.0 G	SPOT GRADE ELEVATION GUTTER
891.0 BC	SPOT GRADE ELEVATION BACK OF CURB (TOP OF CURB)
891.0 BS/TS	SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS
T.O.	TIP OUT (T.O.) CURB AND GUTTER WHERE APPLICABLE - TAPER GUTTERS TO DRAIN AS SHOWN
	EXISTING AND PROPOSED DRAINAGE ARROWS

GENERAL GRADING NOTES:

1. SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
2. THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
3. GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
4. PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
5. GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
6. PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1
7. PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES.
9. IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
10. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
11. FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
12. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
13. TOLERANCES
    - 13.1. THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
    - 13.2. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
    - 13.3. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
    - 13.4. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
14. MAINTENANCE
    - 14.1. THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
    - 14.2. CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES, DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD. ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDED AND MULCHED.
    - 14.3. WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

CITY OF ROSEVILLE GRADING NOTES:

1. THE CONTRACTOR IS REQUIRED TO PROVIDE PERMANENT STABILIZATION TO LOT 1 WITHIN 60 DAYS OF MASS GRADING COMPLETION (OR COORDINATED WITH THE CITY) IF LOT 1 CONSTRUCTION DOESN'T BEGIN. PERMANENT STABILIZATION INCLUDES 3" OF TOPSOIL AND MNDOT SEED MIX 35-221 (DRY PRAIRIE GENERAL) AT 40 LBS PER ACRE. ALL NPDES PERMIT TEMPORARY STABILIZATION REQUIREMENTS STILL APPLY.

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1.0-SW1.5

GROUNDWATER INFORMATION:

PER GEOTECHNICAL REPORT BY NORTHERN TECHNOLOGIES, INC., DATED 1-27-15 GROUNDWATER WAS OBSERVED AT ELEVATIONS RANGING FROM 880.9 - 900.8.

THE BORINGS & GROUNDWATER ARE AS FOLLOWS:

SB-2	898.4
SB-3	900.8
SB-4	880.9
SB-11	884.6

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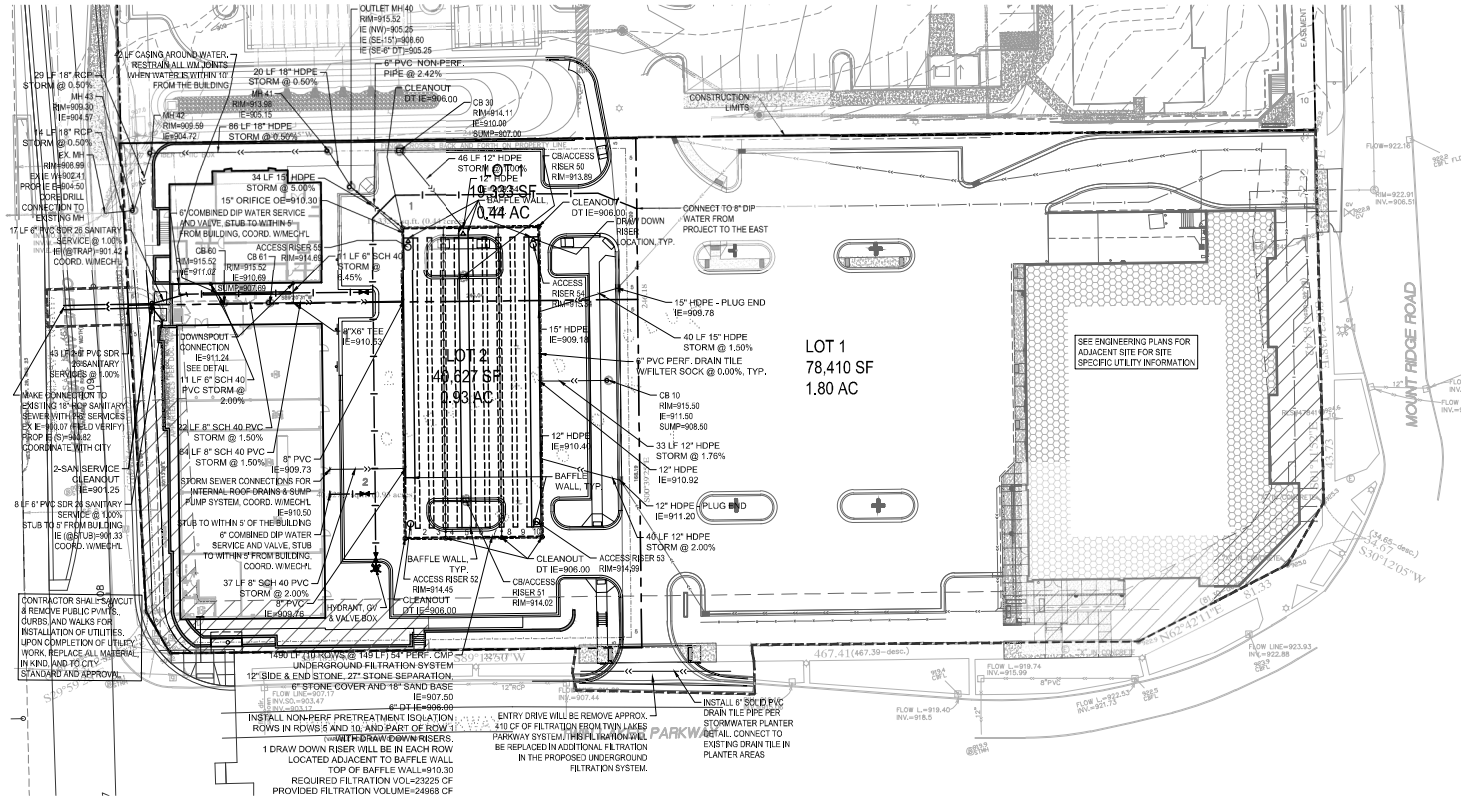
GRADING PLAN

C3.0

Attachment C



GENERAL UTILITY NOTES:

1. SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
2. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
3. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
4. UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
5. CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
6. ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) UNLESS OTHERWISE NOTED.
7. ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) UNLESS OTHERWISE NOTED.
8. ALL STORM SEWER PIPE SHALL BE HDPE UNLESS OTHERWISE NOTED.
9. PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
10. UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
11. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
12. ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
13. HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
14. A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
15. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
16. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
17. CONNECTIONS TO EXISTING STRUCUTRES SHALL BE CORE-DRILLED.
18. COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
19. COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
20. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, ARL FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
21. ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
22. CONTRACTOR SHALL CORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
23. CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
24. CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
25. ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER STRUCTURES.

CITY OF ROSEVILLE UTILITY NOTES:

1. RESERVED FOR CITY SPECIFIC UTILITY NOTES.

UTILITY LEGEND:

- MANHOLE OR CATCH BASIN
- WATER MAIN
- SANITARY SEWER
- STORM SEWER

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3/11/16	REVISED PERMIT SUBMITTAL
4/11/16	REVISED SANITARY SERVICES
4/28/16	REVISED PERMIT SUBMITTAL
6/22/16	CONSTRUCTION DOCUMENTS
6/30/16	CONSTRUCTION DOCUMENTS-FINAL
7/08/16	CDS- ARCH FLR PLAN- WEST
4/05/17	PRELIMINARY PLAT

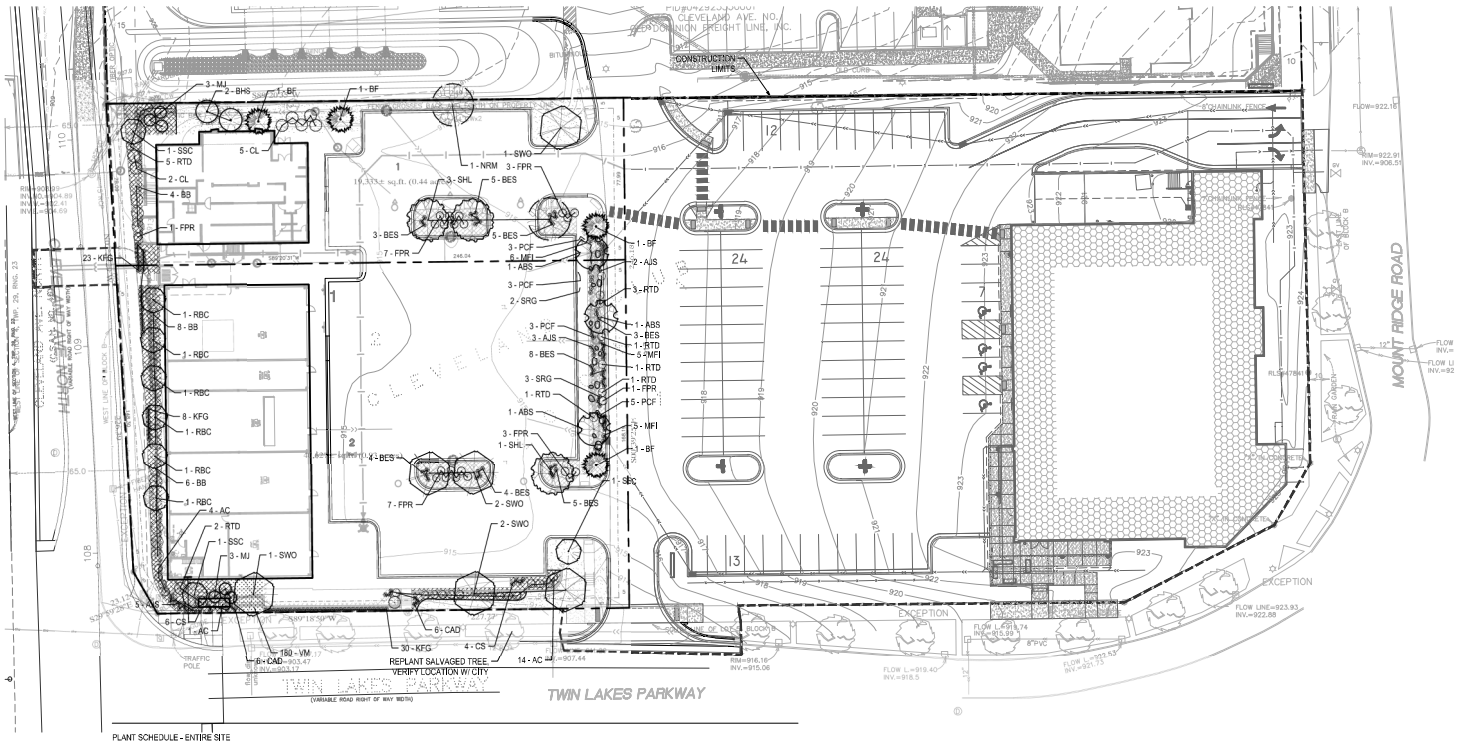
REVISION SUMMARY

DATE	DESCRIPTION
7/19/16	ADD. #1
9/2/16	ADD. #2
10/20/16	ADDED GREASE TRAP
12/22/16	REVISED WATER AND STORM
1/4/17	REVISED PER DOLI COMMENTS

UTILITY PLAN

C4.0

Attachment C



LANDSCAPE NOTES:

1. ALL SHRUB BEDS SHALL BE MULCHED WITH 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH OVER WEED BARRIER. OWNER'S REP SHALL APPROVE MULCH SAMPLE PRIOR TO INSTALLATION. EDGING SHALL BE METAL EDGING OR APPROVED EQUAL. EDGING AND MULCH SHALL MATCH EXISTING MATERIALS.
2. PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMBNESS OF PLANT MATERIAL FOR DURING OF ACCEPTANCE PERIOD.
3. UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
4. CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
5. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER LOAM AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
6. COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES. LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
8. REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
9. SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
10. COORDINATE STREET TREE PLANTING WITH PAUL MARTINSON PH() WITH CITY OF MINNEAPOLIS FORESTRY.
11. CONTRACTOR TO DESIGN AND INSTALL NEW LANDSCAPE IRRIGATION. IRRIGATION SHALL INCLUDE ALL LAWN AREAS, AS WELL AS SHRUB BEDS, INCLUDING INFILTRATION AREA (RAIN GARDEN). CONTRACTOR SHALL PROVIDE A FULLY ANNOTATED DESIGN, DESIGN DETAILS, AND SHOP DRAWINGS OF NEW LAYOUTS AND ADJUSTMENTS, PRIOR TO INSTALLATION.

CITY OF ROSEVILLE LANDSCAPE NOTES:

1. THE CONTRACTOR IS REQUIRED TO PROVIDE PERMANENT STABILIZATION TO LOT 1 WITHIN 60 DAYS OF MASS GRADING COMPLETION (OR COORDINATED WITH THE CITY) IF LOT 1 CONSTRUCTION DOESN'T BEGIN. PERMANENT STABILIZATION INCLUDES 3" OF TOPSOIL AND MNDOT SEED MIX 35-221 (DRY PRAIRIE GENERAL) AT 40 LBS PER ACRE. ALL NPDES PERMIT TEMPORARY STABILIZATION REQUIREMENTS STILL APPLY.

PLANT SCHEDULE - ENTIRE SITE

	SYM	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	COMMENTS
			DECIDUOUS TREES				
CANOPY & EVERGREEN TREES	SHL	10	SUNBURST HONEY LOCUST	Gleditsia triacanthos 'Suncole'	3"	B&B	STRAT. LEADER. FULL FORM
	SWO	12	SWAMP WHITE OAK	Quercus bicolor	3"	B&B	STRAT. LEADER. FULL FORM
	NRM	7	NORTHWOOD RED MAPLE	Acer rubrum 'Northwood'	3"	B&B	STRAT. LEADER. FULL FORM
TOTAL = 48							
			EVERGREEN TREES				
	BF	8	BALSAM FIR	Abies balsamia	6' HT.	B&B	SINGLE LEADER
	BHS	11	BLACK HILLS SPRUCE	Picea glauca 'Densata'	6' HT.	B&B	SINGLE LEADER
			ORNAMENTAL TREES				
ORNAMENTAL TREES	SSC	6	SPRING SNOW CRABAPPLE	Malus 'Spring Snow'	1.5"	B&B	STRAT. LEADER. FULL FORM
	RBC	7	RED BARON FLOWERING CRAB	Malus 'Red Baron'	1.5"	B&B	STRAT. LEADER. FULL FORM
TOTAL = 20	AM	4	FLAME AMUR MAPLE CLUMP	Acer ginnala 'Flame'	1.5"	B&B	STRAT. LEADER. FULL FORM
	ABS	3	AUTUMN BRILLIANCE SERVICEBERRY	Amelanchier x grandiflora "Autumn Brilliance"	1.5"	B&B	STRAT. LEADER. FULL FORM
			DECIDUOUS SHRUBS				
	RTD	21	RED-TWIG DOGWOOD	Cornus baileyi	#5	CONT.	DENSE BRANCHING
SHRUBS	GNB	20	GOLDEN BARBERRY	Berberis thunbergii 'Aurea'	#5	CONT.	DENSE BRANCHING
	FPR	50	PAVEMENT FOXI ROSE	Rosa 'Foxi Pavement'	#5	CONT.	DENSE BRANCHING
TOTAL = 184	CL	14	COMMON PURPLE LILAC	Syringa vulgaris	#5	CONT.	DENSE BRANCHING
	BB	26	WINGED EUONYMUS	Euonymus alatus	#5	CONT.	DENSE BRANCHING
	AC	53	ALPINE CURRANT	Ribes alpinum			
			EVERGREEN SHRUB				
	MJ	17	UPRIGHT COLORADO SPRUCE	Picea pungens 'Fastigiata'	#5	CONT.	FULL FORM
			PERENNIALS, GRASSES & GROUND COVERS				
	LSRS	14	LITTLE SPIRE RUSSIAN SAGE	Perovskia "Little Spire"	#1	CONT.	
	CS	19	CARADONONNA SALVIA	Salvia x sylvestris 'Caradonna'	#1	CONT.	
	CAD	24	CHICAGO APACHE DAYLILLY	Hemerocallis 'Chicago Apache'	#1	CONT.	
	LGD	14	LITTLE GRAPETTE DAYLILLY	Hemerocallis 'Little Grapette'	#1	CONT.	
	AJS	10	AUTUMN JOY SEDUM	Sedum 'Autumn Joy'	#1	CONT.	
	MFI	16	MIDNIGHT PRAIRIEBLUES FALSE INDIGO	Baptisia 'Midnight Prairieblues'	#1	CONT.	
	BES	89	GOLDSTURM CONEFLOWER	Rudbeckia fulgida 'Goldsturm'	#1	CONT.	
	PCF	14	FATAL ATTRACTION CONEFLOWER	Echinacea purpurea 'Fatal Attraction'	#1	CONT.	
	KFG	109	KARL FOERSTER GRASS	Calamagrostis x acutiflora "Karl Foerster"	#1	CONT.	
	VM	780	RALPH SHUGERT PERIWINKLE	Vinca minor 'Ralph Shugert'	4-PAK	CONT.	SOLD IN 4 COUNT PACKS OR FULL TRAYS
	SRG	33	SHENANDOAH RED SWITCH GRASS	Panicum virgatum 'Shenandoah'	#1	CONT.	

LANDSCAPE CALCULATIONS:

Linear feet of uncatagorized frontage	577	
Linear feet of Urban & Flexible Frontage	1,013	
Total linear feet of site	1,591	
Approx. total site building sf	31,125	

		REQUIRED	PROVIDED	
Canopy & evergreen trees, per City of Roseville	1 tree is required per every 30 linear feet of Urban and/or Flexible Frontage.	34		
	1 canopy or evergreen tree per 50 lineal feet of uncategorized site perimeter	12		
	Interior parking lot row and islands - 1 canopy or evergreen tree per island	8		
	Total	54	48	See ornamental substitution below
Greater of the two	6 shrubs per 1,000 square feet of gross building floor area	187		
	6 shrubs per 50 lineal feet of site perimeter	191	184	

Note: Additional shrubs required along parking areas fronting on/in the 25' "Build To Line" to achieve min. 50% opacity. See plan and plant schedule.

		min. required	max required
Required tree types	deciduous	14	41
	conifer	14	41

			PROVIDED	
Ornamental tree substitution	Up to 25% of the required number of canopy or evergreen trees may be substituted with ornamental trees at a ratio of 2 ornamental trees to 1 canopy or evergreen tree.			
	Max. canopy/evergreen allowed to be substituted with ornamental	13	7	
	Min. ornamental trees required, as a result	26	14	15 actually provided
	Min. allowable canopy/evergreen, as a result	41	47	

LEGEND:

- SHREDDED HARDWOOD MULCH (DK. BROWN), OVER FILTER FABRIC - ALL PLANTING BEDS UNLESS OTHERWISE SPECIFIED.
- 6"-8" ROCK OVER GEOTEXTILE, TYP. - ANGULAR, TAN & BUFF COLORS, SAMPLES REQUIRED
- LAWN, TYP - SOD REQUIRED - ALL AREAS DAMAGES DUE TO CONSTRUCTION ACTIVITY SHALL BE SOD, UNLESS OTHERWISE SPECIFIED.

GOPHER STATE ONE CALL
WWW.GOPHERSTATEONECALL.ORG
(800) 252-1166 TOLL FREE
(651) 454-0002 LOCAL

1" = 30'-0"
15'-0" 0 30'-0"

CivilSite GROUP
4931 W. 35TH ST. SUITE 200
ST. LOUIS PARK, MN 55416
CivilSiteGroup.com
Matt Pavek 763-213-3944
Pat Sarver 952-250-2003

DJR ARCHITECTURE, INC
333 Washington Ave N. Suite 210
Minneapolis, Minnesota 55401
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PROJECT

THE CLEVELAND CLUB
2700 CLEVELAND

2700 CLEVELAND AVENUE, ROSEVILLE, MN

JAVA CAPITAL PARTNERS 2700 CLEVELAND AVE L.L.C.
2007 W. FRANKLIN AVENUE, MINNEAPOLIS, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Patrick J. Sarver
DATE 4/5/17 LICENSE NO. 24904

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
12/15/14	PRELIMINARY PLAT SUBMITTAL
5/29/15	PRELIM. FINAL PLAT SUBMITTAL
6/5/15	FINAL PLAT SUBMITTAL
8/7/15	WATERSHED RESUBMITTAL
8/13/15	WATERSHED RESUBMITTAL
10/8/15	PERMIT SUBMITTAL
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REVISION SUMMARY

DATE	DESCRIPTION
-	-
-	-
-	-
-	-
-	-

LANDSCAPE PLAN

L1.0