

CITY OF ROSEVILLE, MN CIVIC CAMPUS PRE-DESIGN STUDY

October 2022



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▲ PRE-DESIGN TEAM

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PROJECT BACKGROUND, PURPOSE, AND OBJECTIVES

In 2021, the City of Roseville completed a Civic Campus Master Plan; a project that defined long-term space needs for Maintenance, City Hall, the Police Department, the License & Passport Center, with the purpose of establishing clear scope for phased investment in these facilities to support the continuity and resilience of high-quality services and operations. This exploration included consideration of how to consolidate Maintenance operations, planning strategies to create a more welcoming, inviting, and useful civic campus for residents and visitors, and to employ sustainable design strategies for planned renovations and new construction. T

This Pre-Design study is the next step in implementation, with a focus on deeper program development for the first phase, centered on relocating Maintenance north of Woodhill Drive, and relocating the License & Passport Center and VFW Post 7555 south of Woodhill Drive. The Pre-Design builds on the Master Plan's Goals with focused objectives:

2021 Civic Campus Master Plan Goals

- Operational Efficiency
- Cohesive Civic Campus
- Address Current and Long-Term Needs of Stakeholders
- Increase Community Access
- Enhance Civic Identity
- Balance Fiscal Responsibility and Value

2022 Pre-Design Study Goals

- Refine Master Plan Space Programs through Additional Stakeholder Engagement
- Meaningfully Engage with the Community
- Provide Preliminary Civil Analysis of Site Conditions and Stormwater Management Requirements
- Refine Overall Campus Site Plan
- Establish Preliminary Design Strategies
- Develop Refined Project Phasing Strategy
- Develop Defined Construction and Total Project Costs

Additional components of this project, key to a more informed understanding of project scope, costs, and phasing, included a preliminary civil engineering site analysis of the future location of Maintenance, further stakeholder review with department heads and staff at Maintenance, the License & Passport Center, and VFW Post 7555, as well as two scales of Community Engagement: the first focused on neighbors immediately adjacent to the proposed relocated Maintenance Facility - those on Griggs Street North, just west of the site, and those on Lexington Avenue North, just across the street from the proposed site - and the second, an opportunity to continue sharing the project with the broader Roseville community, following in the transparency provided during the Civic Campus Master Plan.



Option A1 Key Attributes

- Efficient, Consolidated Maintenance Facility
- Visible and Accessible License & Passport Center and VFW Post 7555
- Centralized Campus Green Space
- Facilitates Phased Implementation: Allowing Transition of Operations with Limited Disruption

2021 Roseville Civic Campus Master Plan: Recommended Scheme The final scheme recommended by the planning team and approved by the City Council consolidated Maintenance north of Woodhill, facilitated by relocation of the VFW and License & Passport Center, which allows all three facilities to maintain operations during construction. At that time, the VFW was proposed to be directly adjacent to the License & Passport Center, both with Woodhill frontage and facing towards a new public green space and City Hall beyond.

PROCESS

This Pre-Design Study included the following activities, designed to provide a deeper level of project understanding and scope definition in service of refined estimated construction and project costs. Each of these activities included cycles of: collaboration within the design team, dialogue with the City of Roseville's project manager and key stakeholders, and review, suggestions, and guidance provided by Roseville City Council.

- **Program Confirmation**

The Civic Campus Master Plan developed a space needs program for each facility through a combination of staff surveys and feedback workshops, benchmarking against peer municipalities, incorporation of best practices for each type of operation and, where required, current operational regulations. The 2021 program established a general and overall program estimation for each department at a 15 year project for Maintenance (related to turnover of equipment) and 20 years for other departments.

As a foundation to this Pre-Design Study, those programs, although recent, were revisited with department heads and staff, and in combination with a review of conceptual floor plans. This process enabled a consideration of translating the idealized space program into specific functional operational layouts, which allowed for a refinement of proposed total facility gross square footages and actual layouts on respective sites. For each of these facilities, none of the refined space programs substantially altered the requirements or projected sizes; in general, the dialogue enabled more distinct dialogue about effective layouts related to site, parking, access, daylighting, and effective and efficient service adjacencies.

- **Site Analysis**

At the time of the Civic Campus Master Plan, there was no recent civil survey of the site north of Woodhill, so this was a preliminary step in this project, inclusive of establishing existing site topography and location and sizing of existing utilities incoming and on site. This was an illuminating exercise as it highlighted some challenges with the site topography, particularly in the western high side, home to Veteran's Park and the VFW, and the eastern low side, with the existing strip mall containing the License & Passport Center.

In order to allow for project sub-phasing that builds a portion of the Maintenance Facility while keeping the VFW and the License & Passport Center in operation prior to their demolition, the Master Plan strategy of an East-West oriented Vehicle Garage needed to be revisited. Working with the civil engineer and construction manager, the team continued to explore both a North-South orientation for the Vehicle Garage, allowing construction entirely on the west side of the site as well as reduced operating impacts on the Griggs neighbors, and the East-West orientation, which offered other benefits for operations and sustainability.

- **Community Engagement**

The COVID-19 pandemic had just begun when the Civic Campus Master Plan was underway, and while it utilized a range of techniques to encourage public engagement, these efforts were hampered as, understandably, attentions and focus were on personal and public health. From its inception, this Pre-Design planned focused engagement with adjacent neighbors, while maintaining the overall transparency and progress reporting to the overall Roseville community provided in the earlier study.

Working collaboratively, the project team utilized a range of modalities to connect with residents, including an online survey (available in paper form, and in multiple languages), neighbor-specific listening sessions for single-family homes, tabling at nearby multi-family and senior residences, and city-wide postcards and newsletter articles. This process was incredibly valuable in garnering feedback including both concerns and suggestions from the community, feedback which ultimately shaped selection of a final Maintenance scheme and refinements to the conceptual design strategies.

- **Conceptual Design Development**

In order for a Pre-Design to yield a more deeply informed cost estimate, the design team needs to move from diagrammatic block plans into preliminary conceptual design strategies, including specific site design layout with sidewalks, plantings, and parking, and proposed building layouts inclusive of detailed program areas, support spaces and building infrastructure such as restrooms, stairs, and elevators, and consideration of public and staff entries, and loading areas. This work included development of three-dimensional building massing, proposition of a materials palette drawing on materials from City Hall and Fire Station #1, and preliminary design gestures to be explored during detailed design, such as a drivable perimeter to the public green space which can be used for food trucks, and tents for farmer's markets and other events.

COMMUNITY ENGAGEMENT

A detailed community engagement summary is included in the appendix of this report, providing a greater level of detail about the core activities and feedback received. Community engagement feedback received from residents was shared with the whole design team to inform development of pre-design strategies, and with the City Council for consideration and reflection.

- **Engagement Reach:**

- 100% of Griggs Street and Lexington Avenue Residents
- 130 Unique Respondents across all Engagement Methodologies
- 9% of Roseville Residents Informed or Participated in this Pre-Design

- **Engagement Events & Activities:**

The following activities represent the breadth of community engagement for this project, from its inception in March of 2022 through the final Public Open House in September, 2022.

1. Newsletter Announcement
2. Website
3. Community Engagement Survey
4. Informational Postcards
5. Griggs Street and Lexington Avenue Resident Open House I
6. Amira Senior Living Event
7. Griggs Street and Lexington Avenue Resident Open House II
8. Lexington Apartments Informational Tabling
9. Roseville General Public Open House

- **Summary of Feedback: Prevailing Themes from Residents and Neighbors:**

Throughout the engagement process, residents shared thoughts and concerns about the process, feedback which ranged from the general in regards to project need to concerns at the level of residents about the impact of Maintenance operations on their homes and families. Core themes, common amongst those participating included:

- Impact of the Maintenance Facility and Operations on Residential Properties
 - Property Values
 - Compensation/Offsets to Directly Adjacent Residents for Hardship of Losing a Park and Gaining a Maintenance Facility as a Neighbor
 - Views
 - Noise (Construction and Ongoing Operations)
 - Pollution
 - Stormwater Drainage
 - Operations
 - Appearance
- Loss of the Public Sports Fields
- Fiscal Responsibility
- Opportunity for Re-Use or Re-Purposing of Existing Buildings
- Questions about the Scale and Nature of the overall Master Plan Improvements versus other City Uses of Funds
- Commitment to Sustainability for New Construction
- Construction Impacts and Durations for Residents
- Cost Feasibility and Funding Pathways

PRE-DESIGN RECOMMENDATIONS

The Pre-Design Study, inclusive of stakeholder, community and City Council feedback, affirmed the proposed first phase of implementation of the Civic Campus Master Plan: for all three related operations, existing facilities are insufficient to address today's space needs and those projected to accommodate future staffing increases, operational evolutions, and in the case of Maintenance, the ever-increasing size and specialization of Public Works vehicles and equipment. Detailed facility programs are included in the appendix to this report.

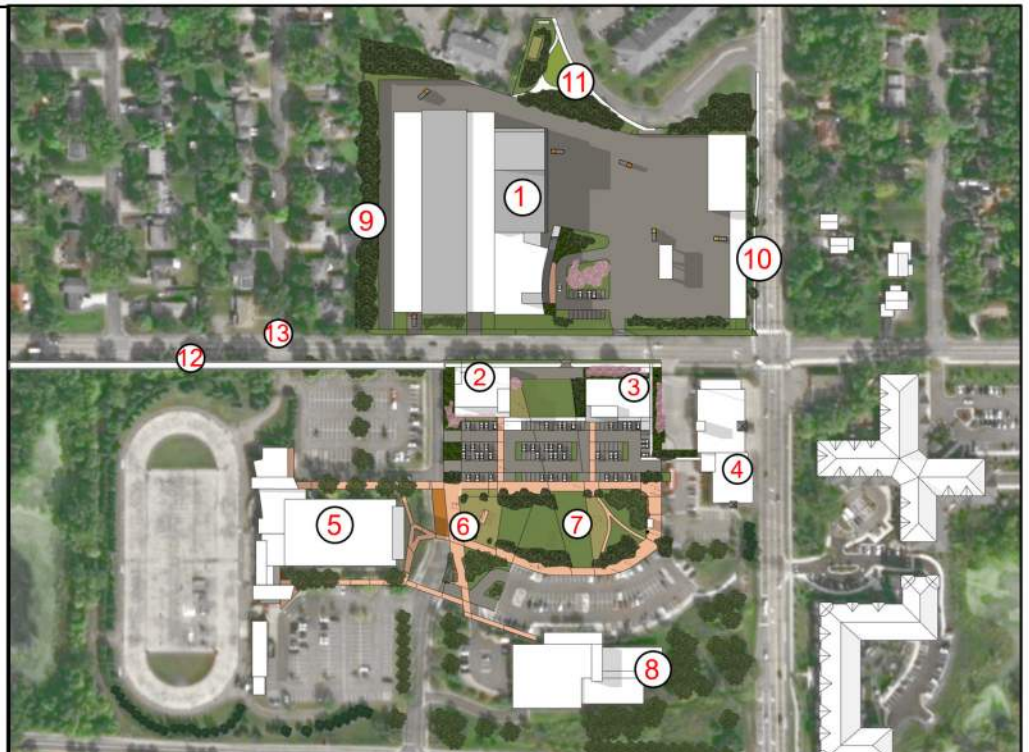
Program Summary

		EXISTING GSF	PROPOSED GSF
	LICENSE & PASSPORT CENTER:	5,164 GSF	8,685 GSF
	• License Service Center + Administrative Support Spaces • Passport Service Center + Administrative Support Spaces • Flexible-use Dance Studio • Additional City Office Space (final allocation TBC)		
	VFW POST 7555:	8,618 GSF	10,350 GSF
	• Bar & Dining Room • Commercial Kitchen • Administrative Support Spaces • Flexible Meeting / Event Rental Space		
	MAINTENANCE FACILITY:	75,900 GSF *	112,500 GSF
	• Administration • Vehicle/Equipment Storage • Vehicle/Equipment Service • Workshops	on 4 Acres incl. 59,000 SF of Yard	on 6.4 Acres incl. 134,000 SF of Yard + Staff Parking

* Includes 18,600 GSF of space currently in off-site facility leased annually

Proposed Pre-Design Site Plan

- 1 - New Maintenance Facility
- 2 - New VFW
- 3 - New License and Passport Center
- 4 - Existing Fire Station #1
- 5 - Existing Oval Skate Park
- 6 - New Veteran's Memorial
- 7 - New Green Space
- 8 - Existing Roseville City Hall
- 9 - Planted Berm
- 10 - Lexington Ave Landscape
- 11 - Relocated Children's Play Area
- 12 - Extended Sidewalk to Howard Johnson Park
- 13 - New Pedestrian Crossing at Griggs



Pre-Design Site Plan Development

While the final recommended site plan for Phase I carries forward the general intent of the Master Plan, and its priorities of creating a cohesive Civic Campus, enhancing the visitor experience while also supporting more effective and efficient operations, there are adjustments to some of the planning assumptions from 2021 including:

- **North-South Orientation of the Maintenance Facility**

Orienting the Maintenance Facility North-South provides a less complex construction phasing, and a west-facing facade towards Griggs residences that does not include any vehicle garage access doors, instead orienting circulation in and out of the garage on the North-South axis, which will reduce noise and disruptions. A continued feature is a landscape buffer at the west side: inclusive of a berm, a fence, and plantings to visually and audibly provide some separation from Maintenance to the residences. Towards Lexington, the salt and storage sheds have an increased offset from the sidewalk, to provide a more robust landscape buffer which both reduces the perceived visuals of the facility and also allow for greater impact of plantings along that edge.

- **Separated Facilities for VFW Post 7555 and the License & Passport Center**

In dialogue with both user groups, considering access, views, and identity, the VFW and License & Passport Center were separated to opposite sides of the site. While this adds complexity to construction phasing in regards to existing Maintenance operations, the long-term benefit of a dedicated and sheltered green space for the VFW, and a more clear separation of parking and arrival for both buildings will reduce confusion for first-time visitors. The plan also indicates continuation of pedestrian walkway materials from the green space to each entry, to further facilitate wayfinding and pedestrian safety.

- **More Developed Recommendations for the Public Green Space**

The centralized public green space, originally indicated as a diagrammatic rectangle of green, was developed by the design team to consider potential use scenarios - from City-sponsored events to day-to-day use by residents and utilization by community partners. In the Pre-Design, the green space includes both a central lawn area bounded by a paved promenade designed as a drivable surface for food trucks and tenting.

At the west side, visible from Civic Center Drive, and directly opposite the VFW, is a proposed Veteran's Memorial. This anchors the green space and is also framed by two new pedestrian crossings as traffic-calming and safety measures for people moving between the Civic Campus and the Oval.

- **Revised Location for the Tot Lot**

Following dialogue with both Griggs Residents and also Lexington Apartment managers and residents, the Tot Lot (playground equipment), located at the NW corner of the site in the Master Plan, is shown relocated to a current open green space owned by Lexington Apartments, between two banks of buildings. This location is more useful for Lexington Apartment residents while also maintaining privacy and separation for Griggs St residences, who noted they would be more likely to use Howard Johnson Park facilities.

- **Additional City Improvements**

Two additional elements are proposed, to be executed by the City separately from any future design/construction of this proposed Phase I implementation: a marked crosswalk across Woodhill Drive at Griggs Street, and creation of a sidewalk on the south side of Woodhill from Griggs to Howard Johnson Park, an element which will connect with the proposed sidewalk to be installed along Woodhill at the VFW and License & Passport Center.

Phasing

A key component further explore during Pre-Design was the proposed project phasing, as this Phase I of the Master Plan must itself be phased to allow for continuity of operations for Maintenance, the License & Passport Center, and the VFW. The construction manager reviewed project logistics, priorities, and proposed building plans to develop a recommendation for a sequence of implementation, from existing structure demolition and site preparation through the multiple steps of new construction. The phasing proposed here should be revisited alongside development of final designs for these structures.

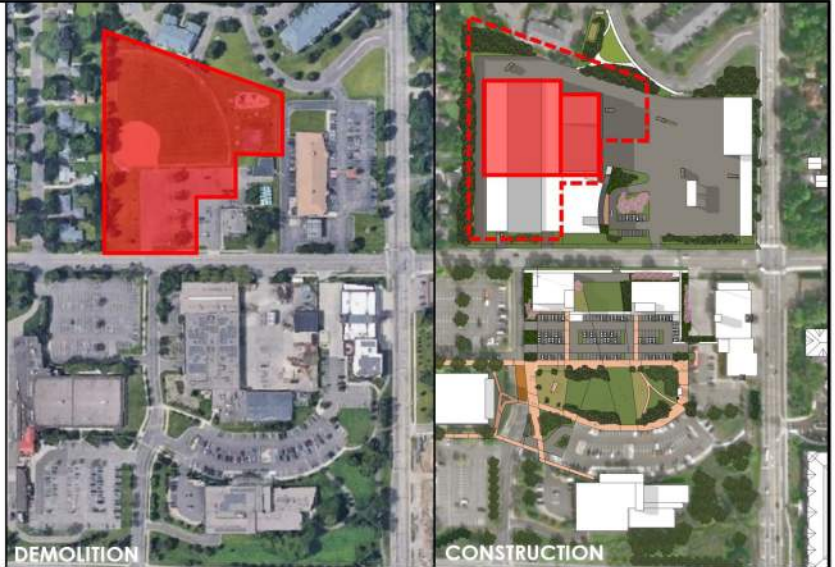
Phase 1 Maintenance Part 1

- North half of Vehicle Garage.
- Vehicle Workshop.
- Designed to Protect the Existing VFW Building. Final fencing layout may allow for retention of VFW outbuildings during this phase.
- VFW Parking will be affected at this Phase, and dialogue will need to explore opportunities to provide additional parking in a temporary fashion.

- Site Preparation including regrading.
- Place new berm/fence alongside Griggs St properties.
- Construct north half of Maintenance (part of Vehicle Storage and all of Vehicle Maintenance).

To Be Confirmed During Next Stage of Project:

- Refined extents of proposed Phase I construction, including perimeter fencing re: VFW interim operations.



Phase 2 License & Passport Center and VFW Relocation

- Both Facilities Relocated to New Structures.
- Phase Supports Remaining Demolition North of Woodhill to Facilitate Completion of Maintenance Scope.
- Extents of Parking Lot Implementation To Be Developed.
- Further Coordination Required with Fire Department for Final Site Details and Access.

- Demolish portions of Maintenance Facility
- Prepare site for new work
- Construct VFW and License & Passport Center

To Be Confirmed During Next Stage of Project:

- Coordination of proposed project phasing on continuity of Maintenance operations.



Phase 3 Maintenance Part 2

- Completion of the Maintenance Facility, Yard, and Storage Outbuildings.
- Completion of Existing Maintenance Facility Demolition to Facilitate Implementation of New Green Space and Completion of Public Parking.

- Complete site preparation for Maintenance yard and remaining buildings
- Scope includes new stormwater management elements
- Construct remaining Maintenance structures including Administrative Offices, Salt and Storage Sheds, and Fuel Island
- Construct Public Green Space and remaining site features

To Be Confirmed During Next Stage of Project:

- Affirm extents of site development where portions of this work connect with existing site features and infrastructure.





PRIORITIES FOR FUTURE DESIGN DEVELOPMENT:

- Thoughtful, Multi-Element Edge Conditions between Maintenance and Adjacent Residences:
 - Landscape Berming
 - Plantings
 - Decorative Fencing
- Intentional Public Facades/Edges at Public Ways - Lexington and Woodhill:
 - Landscape
 - Plantings
 - Lighting
 - Pedestrian Safety
 - Facades with Sufficient Detail
- New Facilities:
 - Materials Drawn from Existing Buildings (Brick, Stone, Metal)
 - Opportunity for Utilizing Similar Details: Pergola, Accents etc.
 - Quality
 - Durability
 - Value



Additional Consideration for Future Design Efforts

The Pre-Design phasing diagrams include some notes about items that will require further study, review, and dialogue as part of any future design and planning work. These items reflect input from residents, City staff, and the City Council. These include a few overarching considerations:

• Sustainability

At this stage, project planning and costs include intended inclusion of compliance with Minnesota B3 Sustainability Guidelines, and an alternate for potential Net Zero Energy. Pre-design site development sought to balance required parking with permeable surfaces, accommodation of surface infiltration where feasible and appropriate, building massing that can support solar photovoltaics, and the use of trees to minimize urban heat island effect.

• Detailed Design of Buffers Around Maintenance

The Pre-Design reflects a nuanced understanding of how landscape and constructed design features can minimize the perceived impact of the Maintenance Facility on adjacent residences and the overall public way. Continued consideration of these zones of transition - in scale, viewsheds, light, and noise, will be critical in the next stages of design.

• Continued Communication with Residents

The City intends to continue to communicate with residents as project implementation continues, both at the overall and adjacent resident level. This will continue to provide project transparency and accountability.

• Public Facades of Maintenance

Residents and City Council alike affirmed goals that the new facilities reflect the identity and quality of the City, and of municipal facilities embedded in a residential neighborhood. Continued design should carry these priorities forwards, with consideration of scale, rhythm, visual and physical texture, detailing, and elements which enhance the character of the proposed facilities.

• Final Phasing re: Existing Operations and Site Access for City Facilities and VFW

Future design and planning should continue to expand on the project phasing and its impacts to maintaining operations with minimal impact for all three facilities. This will include a review of existing operational flows and access and also the interim configurations when facilities and sites are partially completed.

Conceptual Site Renderings



Aerial View from SE (Corner of County Road C and Lexington Avenue) City Hall is in the foreground of the image, with the Skating Center and Oval at left. From this view, the 'cut through' from City Hall through to Woodhill Drive is visible: a section of the site is maintained so there is line of sight from Woodhill to City Hall, with the VFW and License & Passport Center framing this on one side, and open space between trees in the green space supporting this as well. Maintenance is at the top of the view.



Aerial View from NE (Lexington Avenue with View South) In this view, the conceptual design strategy to utilize a colonnade at the front entry of the Maintenance facility that echoes the existing one at City Hall, with a taller entry feature that echoes those of Fire Station #1. The site strategy includes more dense plantings between the Maintenance Facility and residential areas, with more decorative plantings around the VFW and License & Passport Center.

Pre-Design Cost Estimate

The 2020-2022 construction cost market has been unpredictable with weekly and monthly volatility in material availability, labor capacity, and challenges in fabrication and transport. This has led to an increase in inflation within each year, and projected to remain volatile for a few more years as markets, economies, and supply chains continue to rebalance coming out of the pandemic. Given the unpredictability of the markets, it is strongly recommended that the City revisit the projected costs with an estimator prior to any future design phases to affirm current at the time values.

The construction manager developed a revised estimate of construction and project costs reflecting: actual, current costs from similar projects in construction within this period, the revised and detailed programming, the conceptual design strategies, and the priorities for investment in sustainability. A detailed cost summary is in the appdenic.

	PHASE 1: 2025 First Portion of Maintenance	PHASE 2: 2026 License Center & VFW	PHASE 3: 2027 Remainder of Maintenance + Site
Building Construction Cost	\$14,877,272	\$8,657,916	\$14,545,899
Site Construction Cost	\$2,715,836	\$1,671,702	\$2,689,784
Design Contingency (8%)	\$1,407,448	\$826,369	\$1,378,854
Construction Contingency (5%)	\$950,027	\$557,799	\$930,726
Soft Costs & Owner's Contingencies	\$6,035,052	\$3,748,412	\$6,596,527
Total Project Costs	\$30,485,009	\$19,247,313	\$33,665,132

NOTES:

- Total Project Costs include escalation for each phase at 7% per year from 2022.
- Costs above include compliance with MN B3 Sustainability Guidelines.
- Implementation of Net Zero Energy or comprehensive use of geothermal for all facilities could add between 5% and 15% to construction costs, subject to specified systems and integration.

APPENDIX

SPACE ANALYSIS FORM										
DEPARTMENT: SUMMARY PROGRAM: LICENSE & PASSPORT CENTER		USABLE AREA REQUIRED				OVERAGE / (SPACE DEFICIENCY) FROM EXISTING SF				COMMENTS
		2020 PROPOSED	5-YR. PROJECTED	10-YR. PROJECTED	15-YR. PROJECTED	2020 PROPOSED	5-YR. PROJECTED	10-YR. PROJECTED	15-YR. PROJECTED	
Personnel Spaces										
License		888	1,080	1,144	1,144					
Passports/Motor Vehicle		504	504	504	504					
Subtotal, Deptartment Spaces:		1,392	1,584	1,648	1,648					
Office Support Spaces										
License		1,505	1,455	1,455	1,455					
Passports/Motor Vehicle		50	50	50	50					
Subtotal, Support Spaces:		1,555	1,505	1,505	1,505					
Public Spaces										
License		1,960	1,960	1,960	1,960					
Passports/Motor Vehicle		1,150	1,150	1,150	1,150					
Subtotal, Public Spaces:		3,110	3,110	3,110	3,110					
License TOTAL PROPOSED USABLE SF (includes 35% Efficiency Factor)		5,877	6,068	6,155	6,155					
Passports/Motor Vehicle TOTAL PROPOSED USABLE SF (includes 35% Efficiency Factor)		2,300	2,300	2,300	2,300					
Building Factor	10%	230	230	230	230					
TOTAL PROPOSED GROSS SF		8,407	8,599	8,685	8,685					

SPACE ANALYSIS FORM												
DEPARTMENT: LICENSE		SPACE CODE	TOTAL PERSONNEL SPACES REQ'D				PROG. SF UNIT	USABLE AREA REQUIRED				COMMENTS
			2020	5-YR.	10-YR.	15-YR.		2020 PROPOSED	5-YR. PROJECTED	10-YR. PROJECTED	15-YR. PROJECTED	
Personnel Spaces												
License Center Manager		OF	1	1	1	1	192	192	192	192	192	Workspace and acoustic privacy needed; include small table w/ chairs
Motor Vehicle Supervisor		OF	1	1	1	1	120	120	120	120	120	
Lead License Center Representative		WS	2	3	3	3	64	128	192	192	192	Public service
License Center Representative		WS	7	9	10	10	64	448	576	640	640	Shared, Public service - Shifts
Subtotal, Personnel Spaces:			11	14	15	15		888	1,080	1,144	1,144	
Office Support Spaces												
Staff Meeting/Huddle Room			1	1	1	1	300	300	300	300	300	Shared with Passports/Motor Vehicle
Staff Toilets			2	2	2	2	100	200	200	200	200	
Quiet or Wellness Room			1	1	1	1	80	80	80	80	80	Shared with Passports/Motor Vehicle
Archive File Room			1	-	-	-	50	50	-	-	-	Not necessary in future. Currently on-site. (Secured, File Cabinets, Banker Boxes)
Office Supply/Print Room			1	1	1	1	150	150	150	150	150	Shared with Passports/Motor Vehicle
Breakroom			1	1	1	1	300	300	300	300	300	(Secured, Fire proof, File Cabinets, Banker Boxes, Work Counter)
Data/Server Room			1	1	1	1	75	75	75	75	75	Shared with Passports/Motor Vehicle
Storage			1	1	1	1	50	50	50	50	50	SPLIT with Passports - (4) 15" w x 2Dwr Vert. + (4) 36" w x 2Dwr Lat. + (2) 36" w x 4Dwr Lat. - transport some documents to state.
Coat Storage/Personal Lockers			1	1	1	1	300	300	300	300	300	Shared with Passports/Motor Vehicle, all staff w/o offices
Subtotal, Staff Support Spaces:			10	9	9	9		1,505	1,455	1,455	1,455	
Public Spaces												
Entry/Vestibule			1	1	1	1	200	200	200	200	200	Shared with Passports/Motor Vehicle
Waiting			1	1	1	1	900	900	900	900	900	
Info Desk			1	1	1	1	100	100	100	100	100	20SF/person = waiting space for 45
Service Counter			1	1	1	1	-	-	-	-	-	SF included in WS under Personnel
Express Wait Line Area (TABS)			1	1	1	1	250	250	250	250	250	
Public Access Terminal(s)			1	1	1	1	-	-	-	-	-	Shared with Passports/Motor Vehicle; part of entry/vestibule (possibly TABS Kiosk)
Display Cases			1	1	1	1	-	-	-	-	-	Shared with Passports/Motor Vehicle; part of wait area
Public Info Display/Lit.			1	1	1	1	-	-	-	-	-	Shared with Passports/Motor Vehicle; part of wait area
Public Toilets			1	1	1	1	500	500	500	500	500	Shared with Passports/Motor Vehicle
Public drop-off location			1	1	1	1	10	10	10	10	10	Shared with Passports/Motor Vehicle
Subtotal, Public Spaces			10	10	10	10		1,960	1,960	1,960	1,960	
Total Department Spaces:			31	33	34	34		4,353	4,495	4,559	4,559	
Total Net SF								4,353	4,495	4,559	4,559	
Efficiency Factor							35%	1,524	1,573	1,596	1,596	
TOTAL PROPOSED SF								5,877	6,068	6,155	6,155	

Notes:

Licensing visitors on average/day = 100-300 ppl (350-400 on the high end) (30-40 ppl/hr)

Adjacency - Finance, IT

Drive thru could be better for public access, less need to come in building but more time for staff to process not having resources right there.

Most staff could not work remote.

Shared Equipment:

Shared Computer Terminal, Freestanding Printer, Desktop Printer, Fax, Scanner, Shredder, Imaging Station, Camera + add'l desk top scanners

Concerns:

Quiet Room/Wellness space + secure storage

New computer system in Nov.

CITY OF ROSEVILLE - LICENSE CENTER

Project No.: 2359-01



SPACE ANALYSIS FORM												
DEPARTMENT: PASSPORT/MOTOR VEHICLE	SPACE CODE	TOTAL PERSONNEL SPACES REQ'D				PROG. SF UNIT	USABLE AREA REQUIRED				COMMENTS	
		2020	5-YR.	10-YR.	15-YR.		2020 PROPOSED	5-YR. PROJECTED	10-YR. PROJECTED	15-YR. PROJECTED		
		Personnel Spaces										
Passport/Auto Dealer Supervisor	OF	1	1	1	1	120	120	120	120	120	Workspace and acoustic privacy needed Direct view to counter Shared, Public service - Shifts or all 5 stations used at once?	
Passport/Auto Dealer Lead	WS	1	1	1	1	64	64	64	64	64		
Passport Representative	WS	5	5	5	5	64	320	320	320	320		
Subtotal, Personnel Spaces:		7	7	7	7		504	504	504	504		
Office Support Spaces												
Staff Meeting/Huddle Room		-	-	-	-	-	-	-	-	-	Shared with License, See License	
Staff Toilets		-	-	-	-	-	-	-	-	-		
Quiet or Wellness Room		-	-	-	-	-	-	-	-	-		
Office Supply/Print Room		-	-	-	-	-	-	-	-	-	Shared with License, See License (Secured, Fire proof, File Cabinets, Banker Boxes, Work Counter)	
Breakroom		-	-	-	-	-	-	-	-	-		
Data/Server Room		-	-	-	-	-	-	-	-	-		
Storage		1	1	1	1	50	50	50	50	50	See License	
Coat Storage/Personal Lockers		-	-	-	-	-	-	-	-	-	Shared with License, See License	
Subtotal, Staff Support Spaces		1	1	1	1		50	50	50	50		
Public Spaces												
Entry/Vestibule		1	1	1	1	-	-	-	-	-	Shared with License, See License 20SF/person = waiting space for 40 Include family space (family of 4?) + more privacy	
Waiting		1	1	1	1	800	800	800	800	800		
Service Counter		1	1	1	1	300	300	300	300	300		
Photo Area		2	2	2	2	25	50	50	50	50	Possibly TABS kiosk; Shared with License, see License	
Public Access Terminal(s)		-	-	-	-	-	-	-	-	-		
Display Cases		-	-	-	-	-	-	-	-	-		
Public Info Display/Lit.		-	-	-	-	-	-	-	-	-	Shared with License, See License	
Public Toilets		-	-	-	-	-	-	-	-	-	Shared with License, See License	
Public drop-off location		-	-	-	-	-	-	-	-	-	Shared with License, See License	
Subtotal, Public Spaces:		5	5	5	5		1,150	1,150	1,150	1,150		
Total Department Spaces:		13	13	13	13		1,704	1,704	1,704	1,704		
Total Net SF							1,704	1,704	1,704	1,704		
Efficiency Factor						35%	596	596	596	596		
TOTAL PROPOSED SF							2,300	2,300	2,300	2,300		

Notes:

Passport visitors on average/day = 60-100 ppl

Adjacency - Finance, IT

Shared Equipment:

Shared Computer Terminal, Freestanding Printer, Desktop Printer, Fax, Scanner, Shredder, Imaging Station, Camera + add'l desk top scanner:

Concerns:

Quiet Room/Wellness space + secure storage

SPACE ANALYSIS FORM								
DEPARTMENT: VFW		SPACE CODE	Space Data		PROG. SF UNIT	USABLE AREA REQUIRED		COMMENTS
			SPACES REQ'D			Existing Areas	New Areas	
			Existing	Projected				
Upper Level Spaces								
Bar Area			1	1	355	355	600	at the bar have seating for 22, would like 30 to 35 seating capacity 88 + 8 high tops, about 100, increase 120 does not comply with current ADA codes Elevator and 2 stairs
Dinning Area			1	1	1,573	1,573	1,900	
Lobby			1	1	115	115	127	
Upper Level Kitchen			1	1	250	250	275	
Upper Level Storage			1	1	260	260	286	
Upper Level Office			1	1	80	80	120	
Men & Women Restrooms			1	1	210	210	360	
Vertical Circulation			1	1	340	340	-	
Subtotal, Spaces:			8	8		3,183	3,668	4,215 GSF / Floor
Lower Level Spaces								
Meeting Hall			1	1	1,670	1,670	2,400	seating for, posted for 115, size for 150 (16 each) does not comply with current ADA codes
Storage			1	1	680	680	748	
Lower Level Kitchen			1	1	290	290	319	
Janitor Closet			1	1	70	70	77	
Men & Women Restrooms			1	1	210	210	360	
			1	1		-	-	
			1	1		-	-	
			1	1		-	-	
Subtotal, Staff Support Spaces:			9	9		2,920	3,904	
Out Building								
Bouya Building			1	1	1,200	1,200	1,200	
Subtotal, Public Spaces			1	1		1,200	1,200	
Total Department Spaces:			18	18		7,303	8,772	
Total Net SF						7,303	8,772	
Efficiency Factor					18%	1,315	1,579	
TOTAL PROPOSED SF						8,618	10,350	

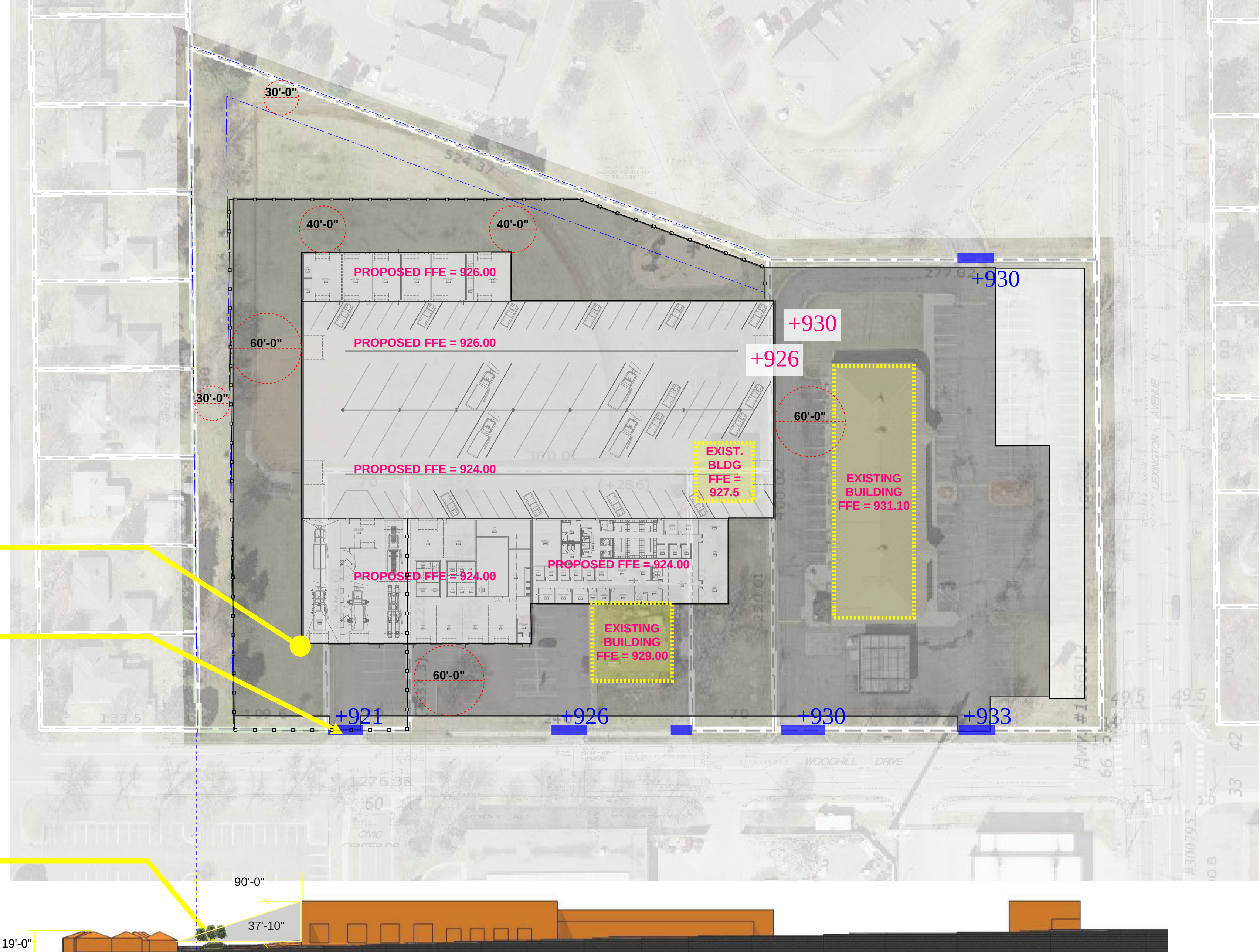
OPTION A
EAST/WEST STORAGE

1. TEST FIT - MAIN FACILITY [scale: 1" = 60']

LIMIT OF SOUTHWEST
CORNER OF MAIN
FACILITY

ELEVATION OF SITE
ACCESS

PLANTED BERM
BETWEEN 4' - 7' TALL

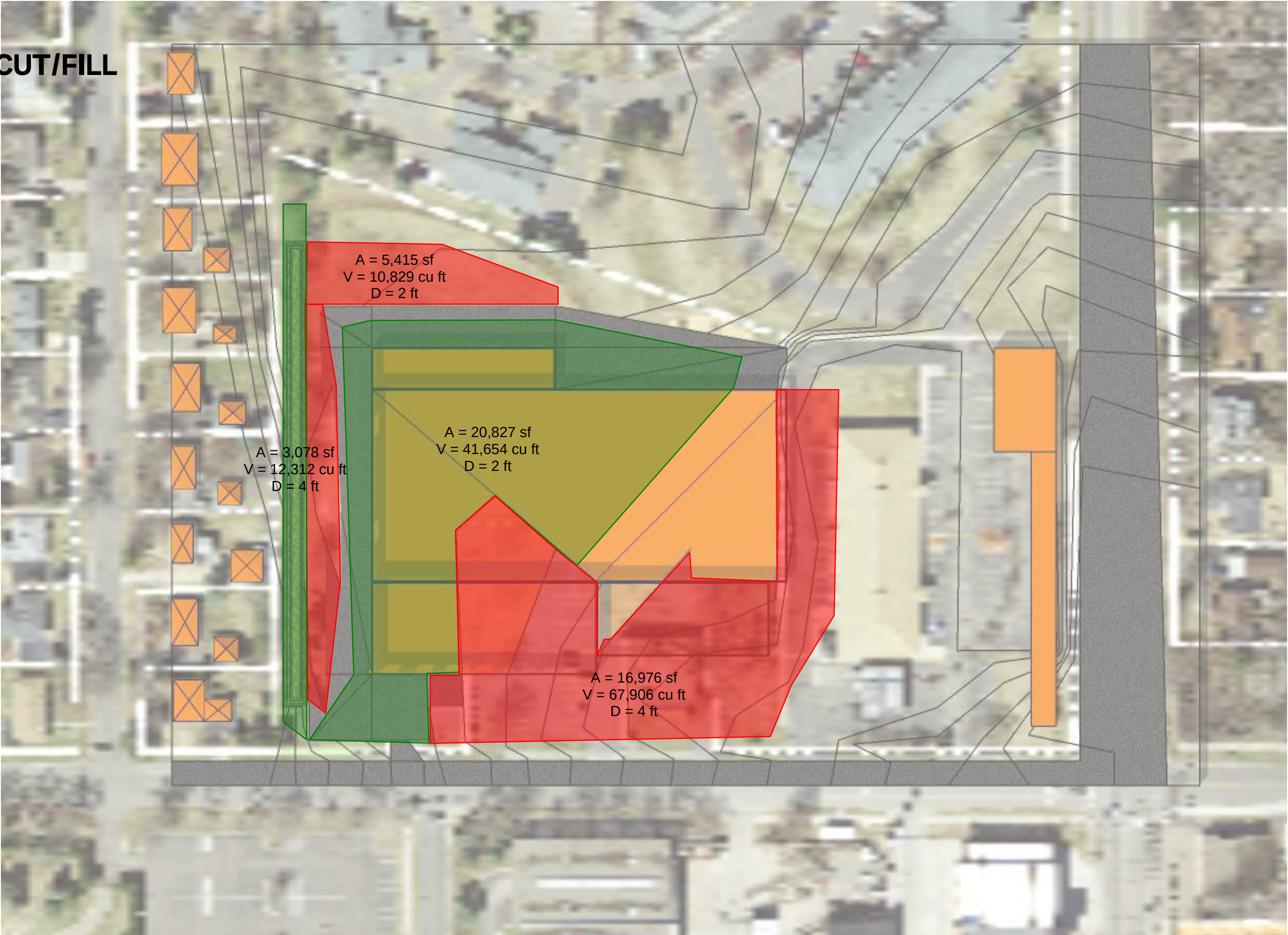


2. SITE SECTION [scale: 1" = 60']

OPTION A
INFORMAL CUT/FILL

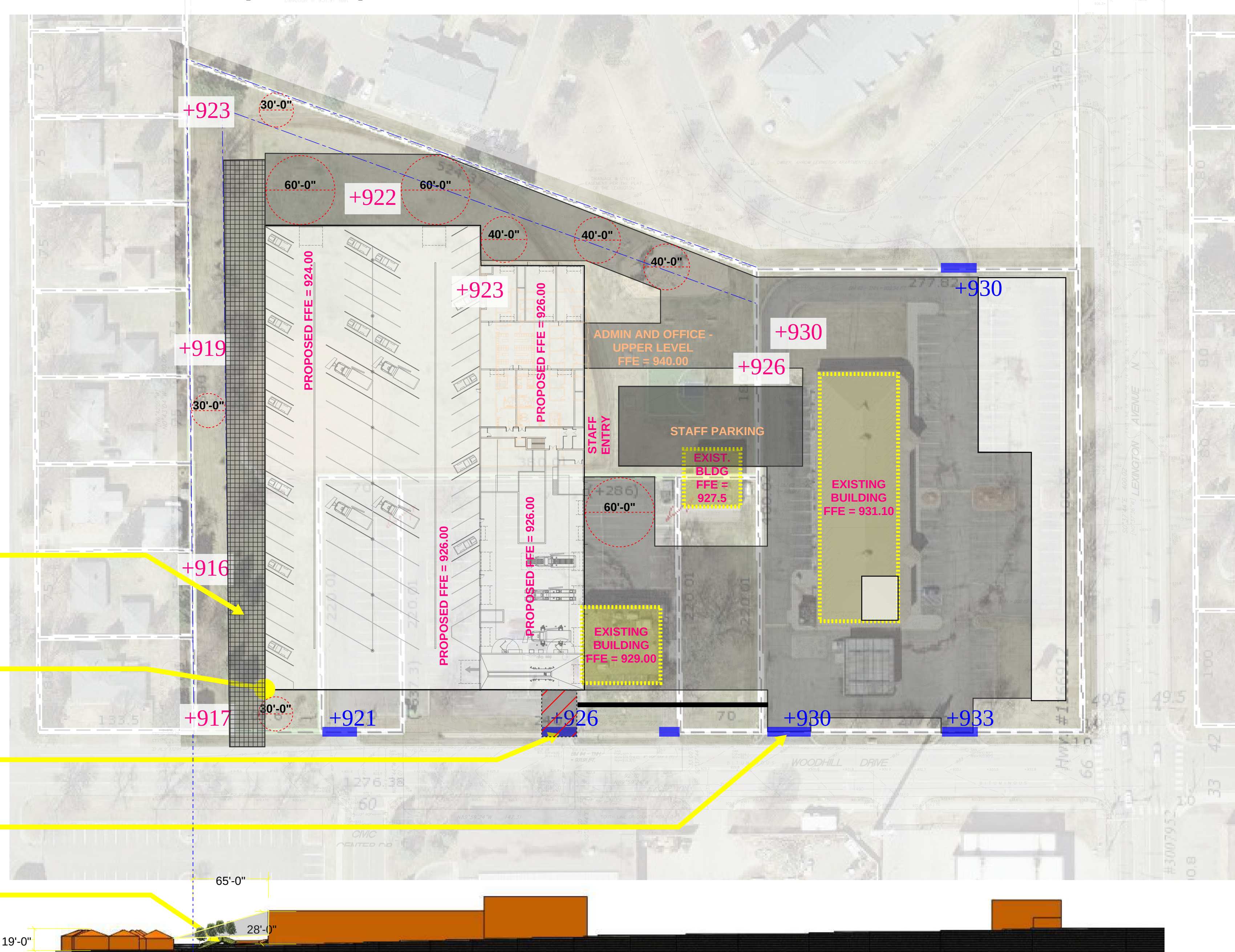
 **CUT**

 **FILL**



OPTION B
NORTH / SOUTH STORAGE

1. TEST FIT - MAIN FACILITY [scale: 1" = 60']



EMERGENCY / FIRE
ACCESS ONLY - NEW
CURB CUT

LIMIT OF SOUTHWEST
CORNER OF MAIN
FACILITY

ELEVATION OF SITE
ACCESS - PHASE 1

ELEVATION OF SITE
ACCESS - PHASE 2

PLANTED BERM
BETWEEN MIN 7' TALL

2. SITE SECTION [scale: 1" = 60']

OPTION B
INFORMAL CUT/FILL

 **CUT**

 **FILL**

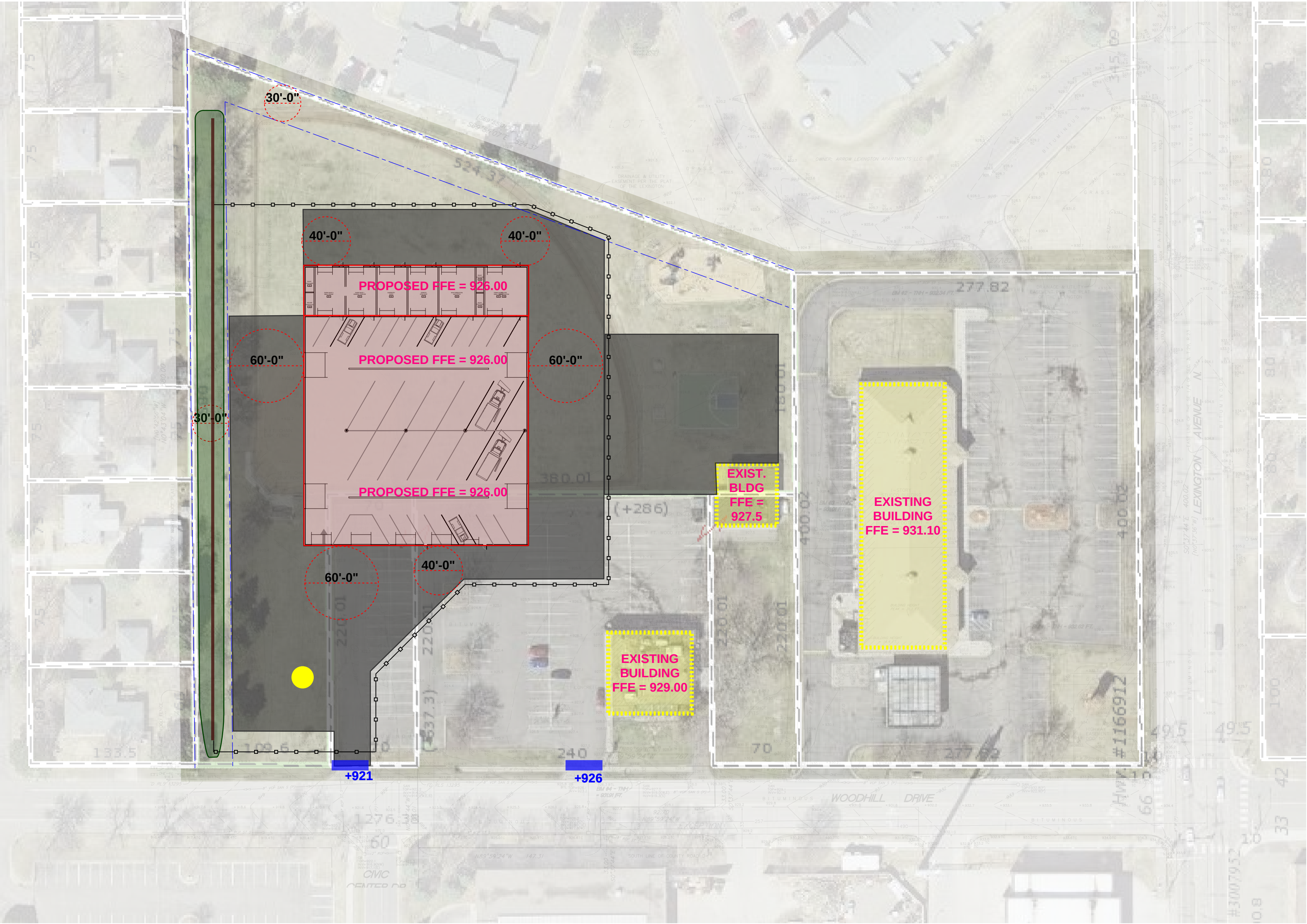


OPTION A
EAST/WEST STORAGE

Option A - Phase 1

- 1. Build berm and screen / sound wall along west property line
- 2. Grade site to establish building pad.
- 3. Construct 34,000 SF of Vehicle-Equipment Storage. Operational flow West to East and South to North.
- 4. Construct 7,400 SF of Divisional Workshops. Access from interior of Vehicle-Equipment Storage or North Side.
- 5. Pavement as shown for operational access. Omit northwest corner pavement to prevent continuous circulation and increase neighbor disturbance.
- 6. Secure perimeter with combination of coated chain-link and decorative screen wall fencing.
- 7. Option to increase paved area for current VFW operations.

1. PHASE 1 CONCEPT - MAIN FACILITY [scale: 1" = 60']



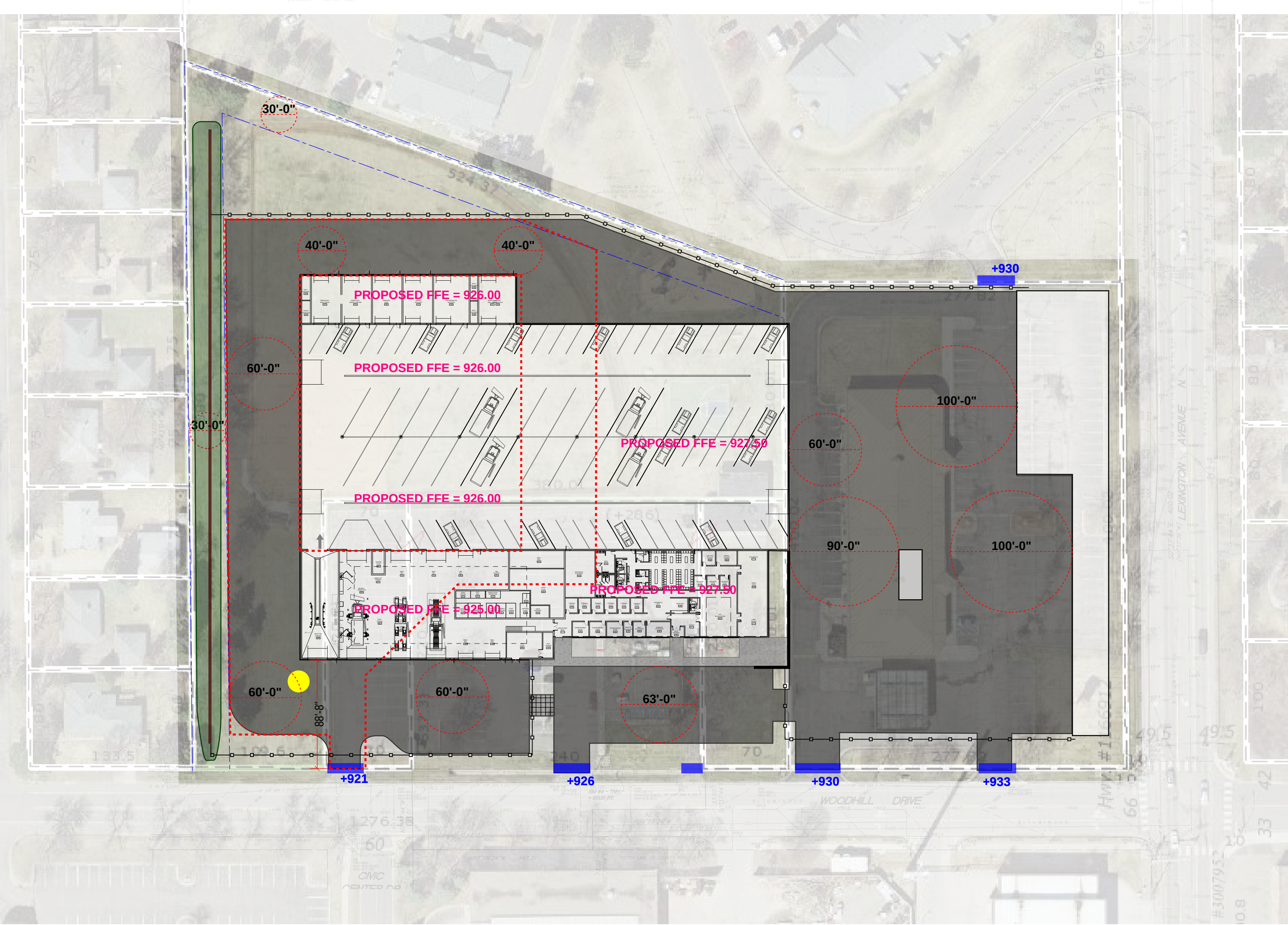
OPTION A

EAST/WEST STORAGE

Option A - Phase 2

- 1. Demolish non-maintenance structures and prepare east side of site for ultimate construction.
- 2. Construct remainder of Vehicle-Equipment Storage, Central Repair Garage and office functions.
- 3. Construct new fuel island with underground tanks.
- 4. Construct new salt building and bulk material bins along Lexington with incorporation of decorative and screening surfaces along Lexington Avenue to mitigate views into operations and exposure to operational acoustics.
- 5. Pavement installation as shown.
- 6. Secure remainder of exposed perimeter with combination of coated chain-link and decorative screen wall fencing.

1. ULTIMATE PROJECT [scale: 1" = 60']



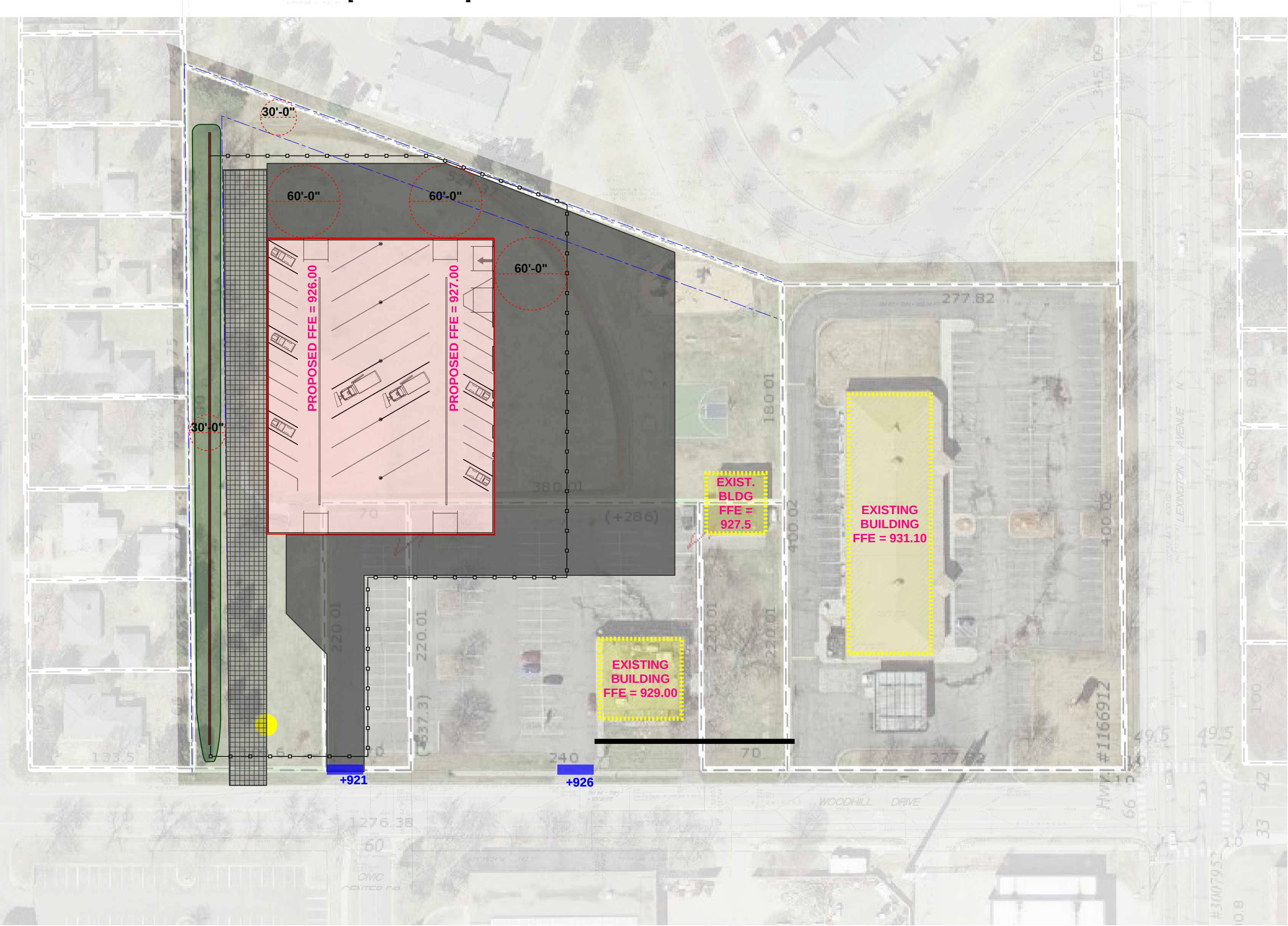
OPTION B

NORTH / SOUTH STORAGE

Option B - Phase 1.1

- 1. Build berm and screen / sound wall along west property line
- 2. Grade site to establish building pad.
- 3. Construct 45,000 SF of Vehicle-Equipment Storage.
Operational flow South to North only, with some access on East side.
- 4. Pavement as shown for operational access.
Omit northwest corner pavement to prevent continuous circulation and increase neighbor disturbance.
- 5. Secure perimeter with combination of coated chain-link and decorative screen wall fencing.
- 6. Option to increase paved area for current VFW operations.
- 7. Construct portion of or entirety of Emergency Vehicle Access between building and berm/screen wall.

1. PHASE 1.1 CONCEPT - MAIN FACILITY [scale: 1" = 60']

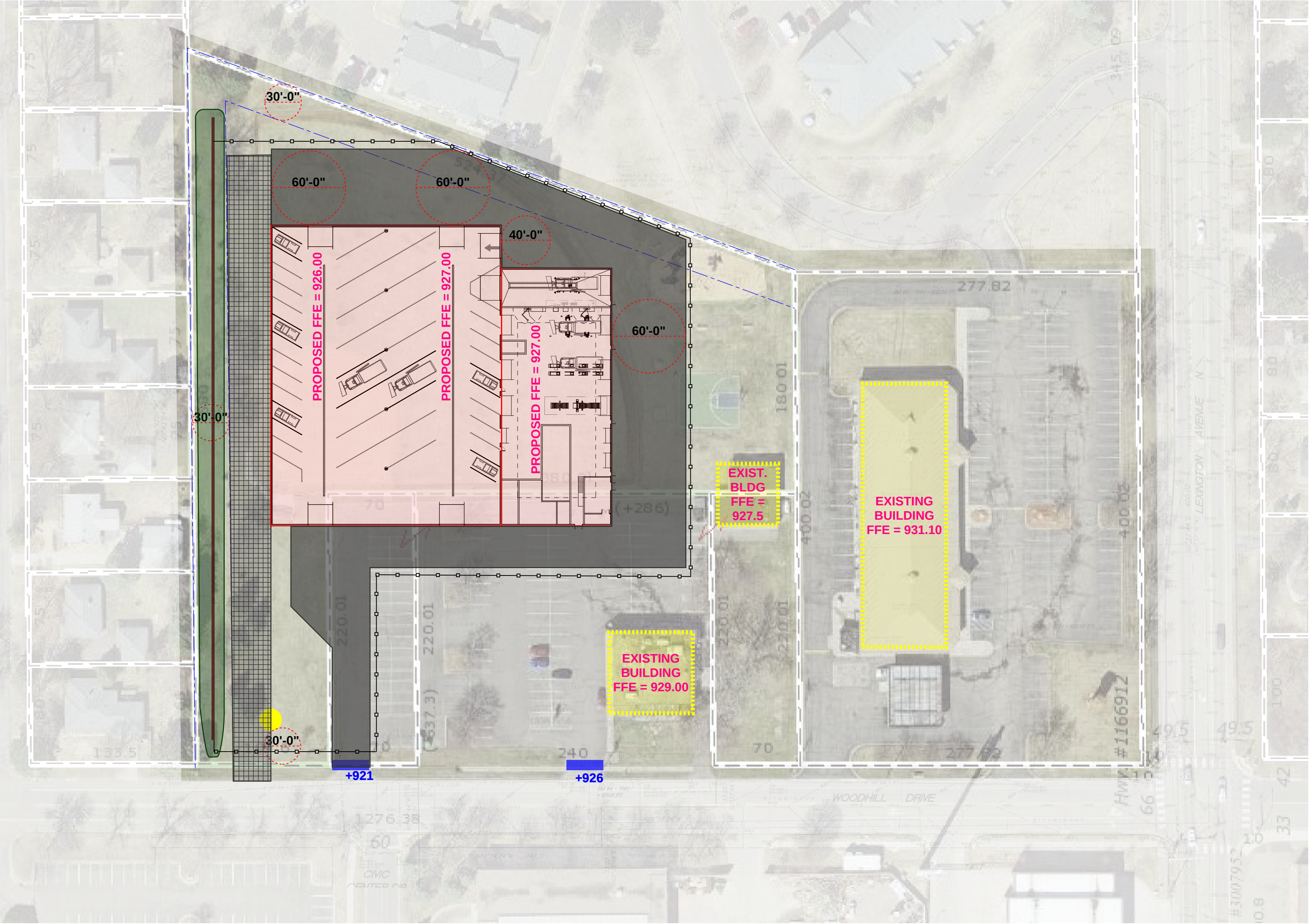


OPTION B
NORTH / SOUTH STORAGE

Option B - Phase 1.2

- 1. Build berm and screen / sound wall along west property line
- 2. Grade site to establish building pad.
- 3. Construct 45,000 SF of Vehicle-Equipment Storage. Operational flow South to North only.
- 4. Construct 18,500 SF of Central Repair Garage with Washbay Component.
- 4. Pavement as shown for operational access. Omit northwest corner pavement to prevent continuous circulation and increase neighbor disturbance.
- 5. Secure perimeter with combination of coated chain-link and decorative screen wall fencing.
- 6. Construct portion of or entirety of Emergency Vehicle Access between building and berm/screen wall.

1. PHASE 1.2 CONCEPT - MAIN FACILITY [scale: 1" = 60']

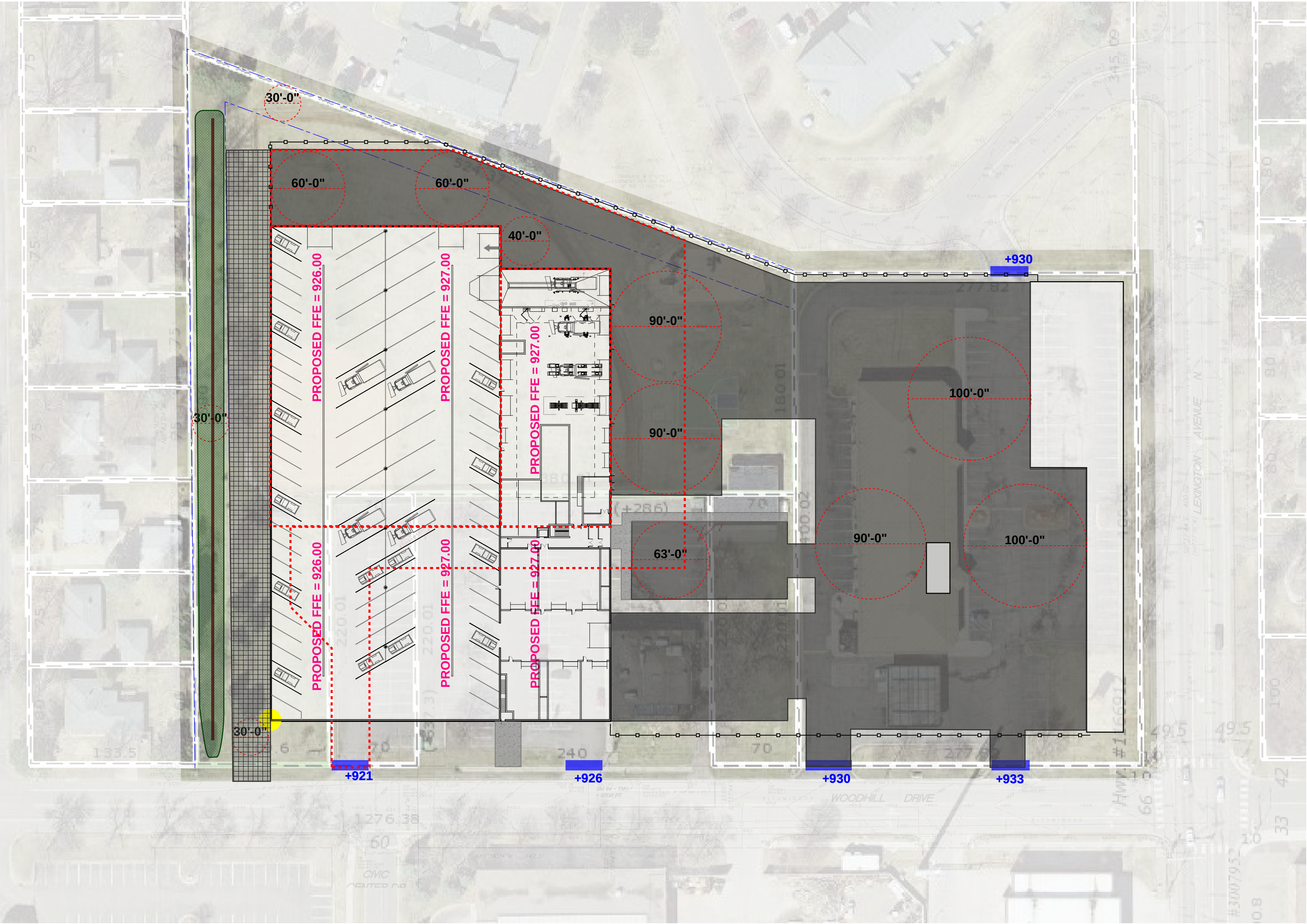


OPTION B
NORTH / SOUTH STORAGE

Option B - Phase 2

- 1. Demolish non-maintenance structures and prepare east side of site for ultimate construction.
- 2. Construct remainder of Vehicle-Equipment Storage, and two-level component (lower level - Divisional Workshops; upper level - Administrative / Office Functions).
- 3. Construct new fuel island with underground tanks.
- 4. Construct new salt building and bulk material bins along Lexington with incorporation of decorative and screening surfaces along Lexington Avenue to mitigate views into operations and exposure to operational acoustics.
- 5. Pavement installation as shown.
- 6. Secure remainder of exposed perimeter with combination of coated chain-link and decorative screen wall fencing.

1. ULTIMATE PROJECT - MAIN FACILITY [scale: 1" = 60']

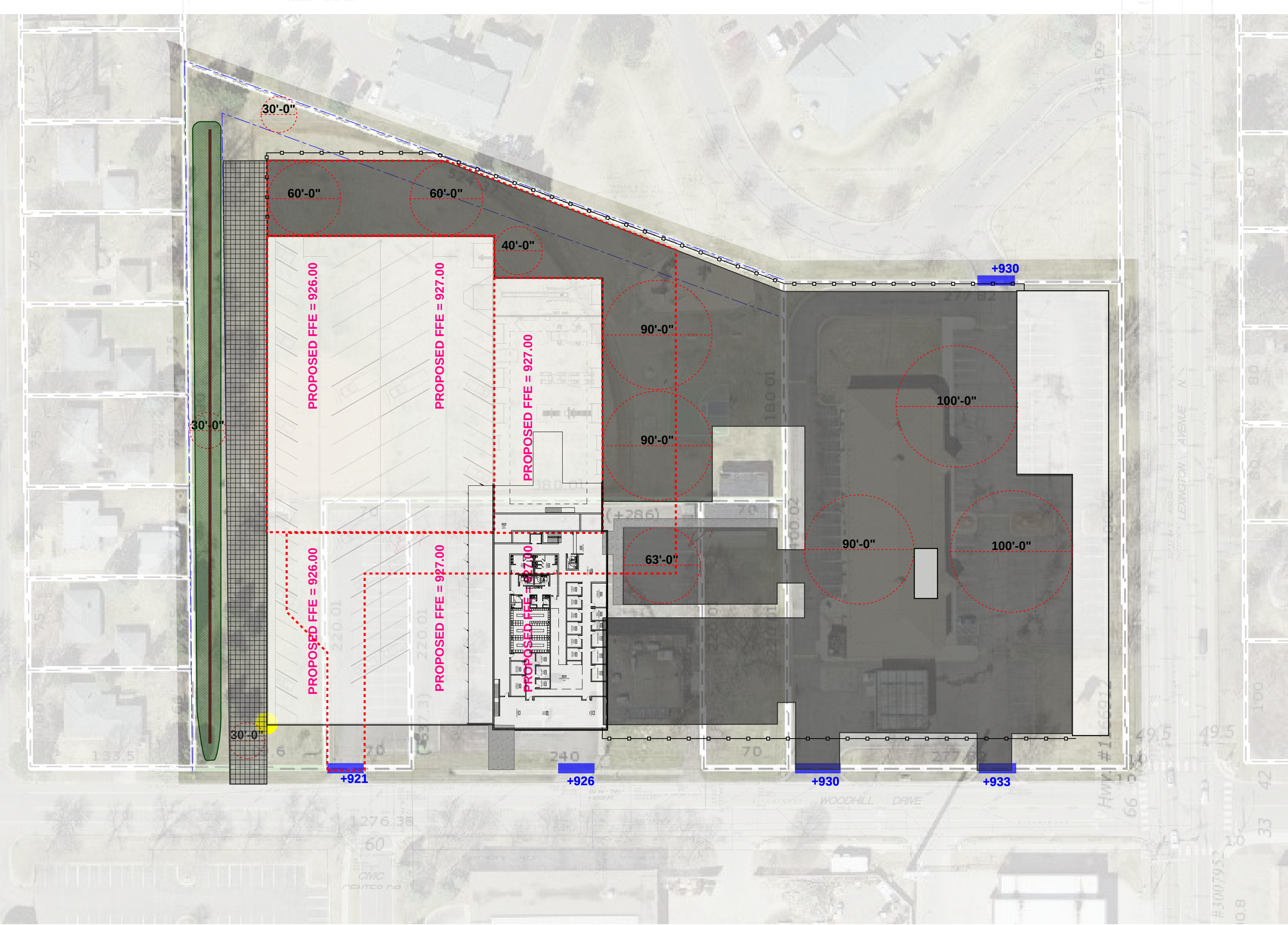


OPTION B NORTH / SOUTH STORAGE

Option B - Phase 2

- 1. Demolish non-maintenance structures and prepare east side of site for ultimate construction.
- 2. Construct remainder of Vehicle-Equipment Storage, and two-level component (lower level - Divisional Workshops; upper level - Administrative / Office Functions).
- 3. Construct new fuel island with underground tanks.
- 4. Construct new salt building and bulk material bins along Lexington with incorporation of decorative and screening surfaces along Lexington Avenue to mitigate views into operations and exposure to operational acoustics.
- 5. Pavement installation as shown.
- 6. Secure remainder of exposed perimeter with combination of coated chain-link and decorative screen wall fencing.

1. ULTIMATE PROJECT - MAIN FACILITY - UPPER LEVEL [scale: 1" = 60']

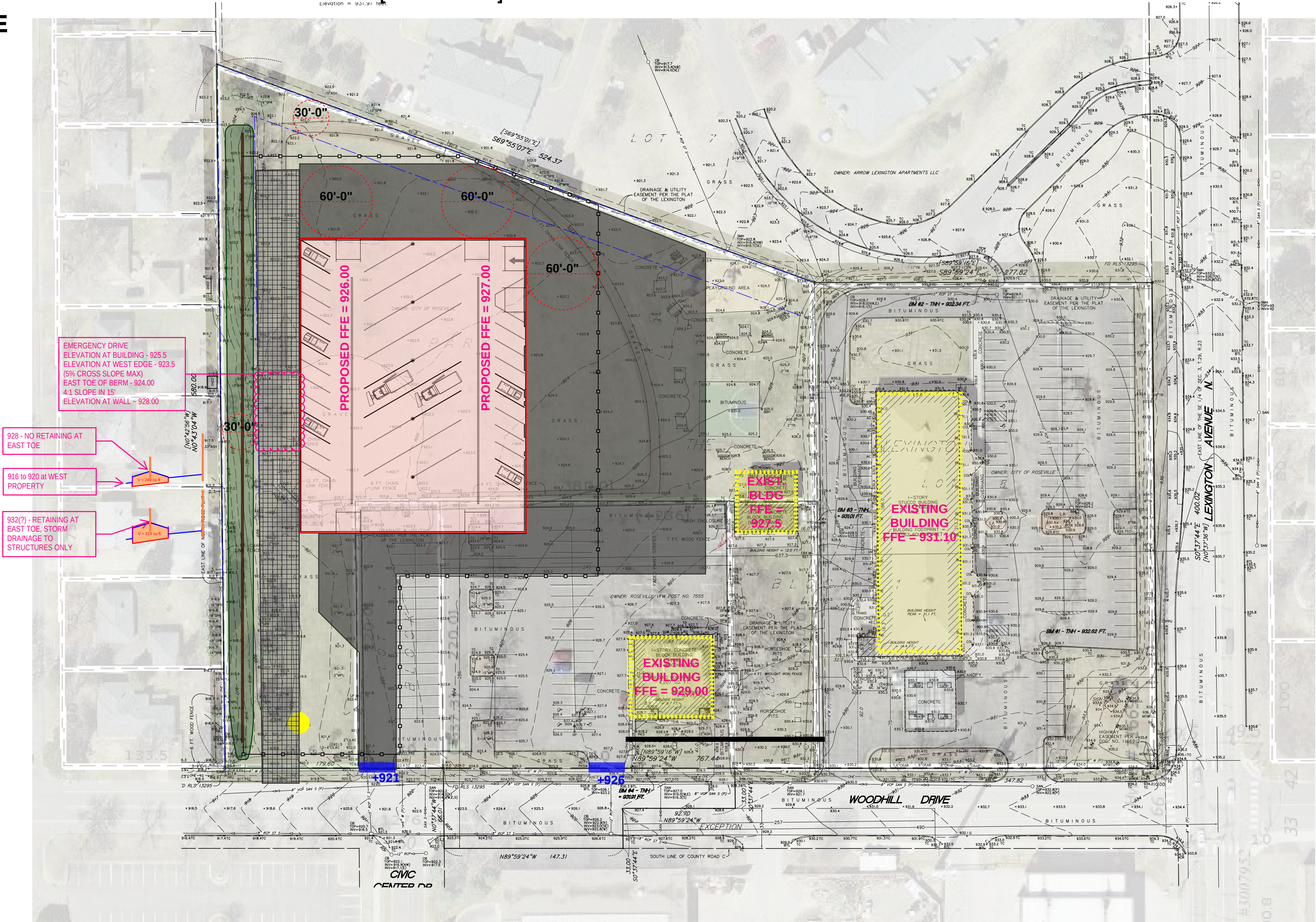


OPTION B NORTH / SOUTH STORAGE

1. PHASE 1.1 CONCEPT - MAIN FACILITY [scale: 1" = 60']

Option B - Phase 1.1

1. Build berm and screen / sound wall along west property line
2. Grade site to establish building pad.
3. Construct 45,000 SF of Vehicle-Equipment Storage.
Operational flow South to North only, with some access on East side.
4. Pavement as shown for operational access.
Omit northwest corner pavement to prevent continuous circulation and increase neighbor disturbance.
5. Secure perimeter with combination of coated chain-link and decorative screen wall fencing.
6. Option to increase paved area for current VFW operations.
7. Construct portion of or entirety of Emergency Vehicle Access between building and berm/screen wall.

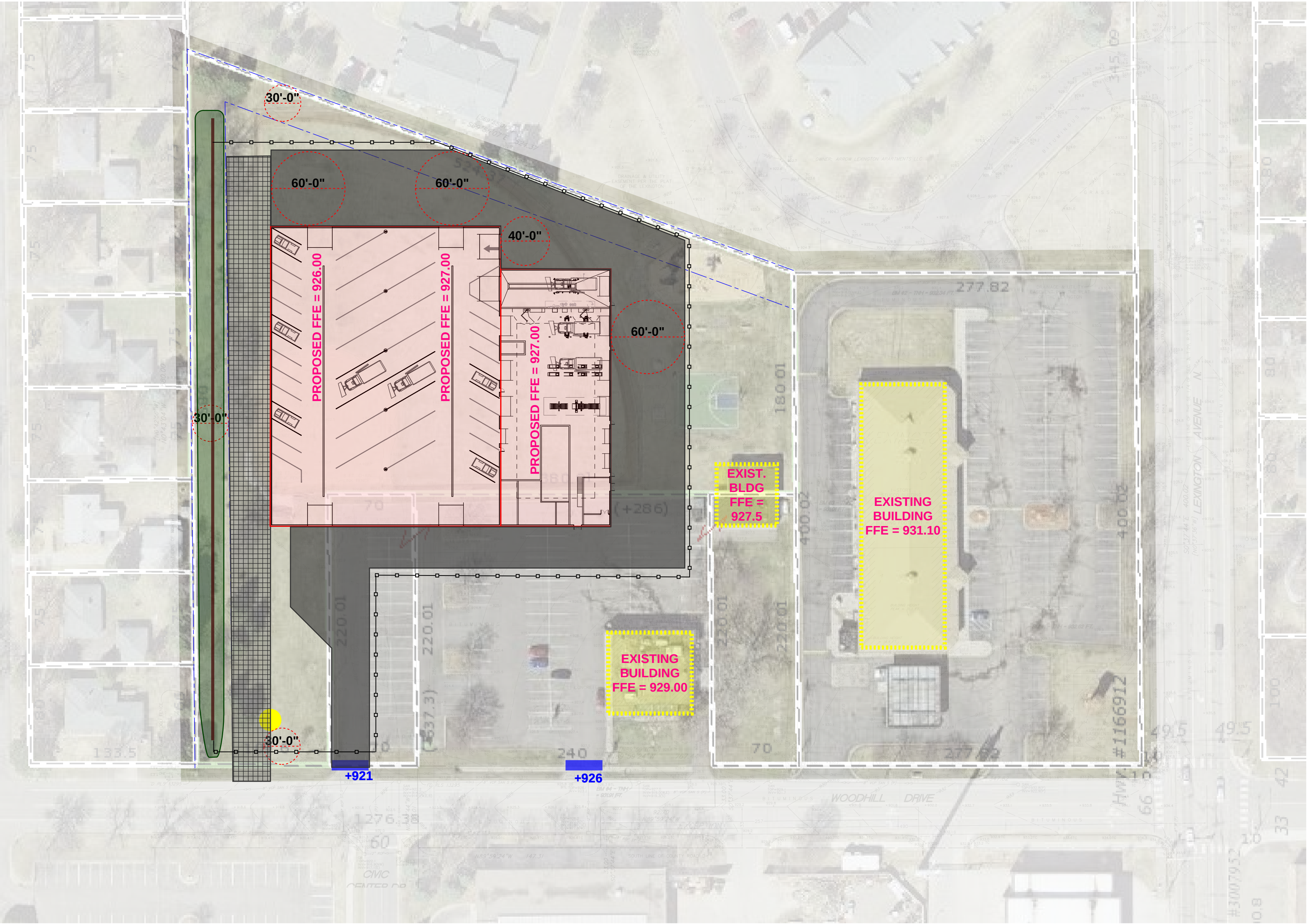


OPTION B
NORTH / SOUTH STORAGE

Option B - Phase 1.2

- 1. Build berm and screen / sound wall along west property line
- 2. Grade site to establish building pad.
- 3. Construct 45,000 SF of Vehicle-Equipment Storage. Operational flow South to North only.
- 4. Construct 18,500 SF of Central Repair Garage with Washbay Component.
- 4. Pavement as shown for operational access. Omit northwest corner pavement to prevent continuous circulation and increase neighbor disturbance.
- 5. Secure perimeter with combination of coated chain-link and decorative screen wall fencing.
- 6. Construct portion of or entirety of Emergency Vehicle Access between building and berm/screen wall.

1. PHASE 1.2 CONCEPT - MAIN FACILITY [scale: 1" = 60']



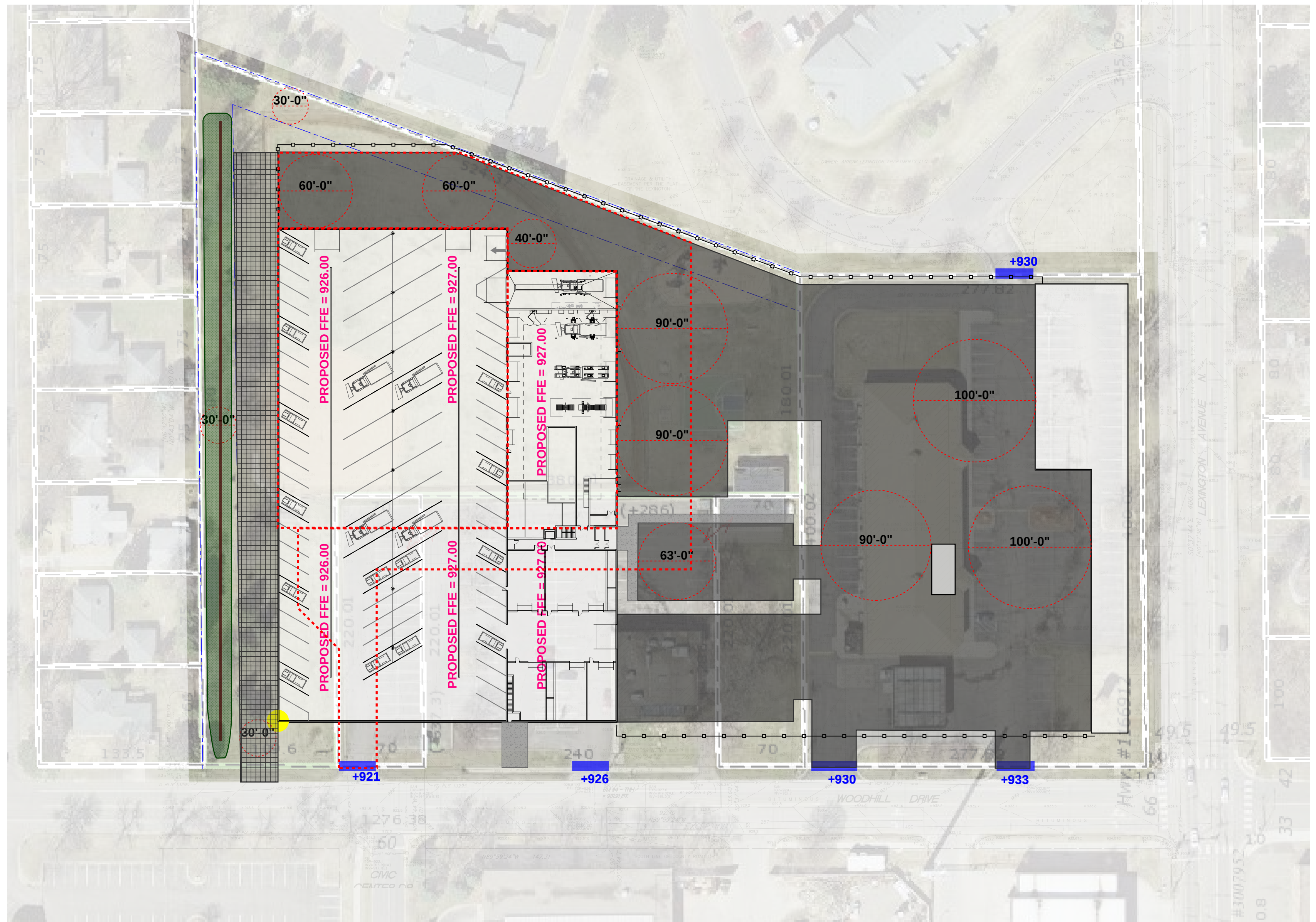
OPTION B

NORTH / SOUTH STORAGE

1. ULTIMATE PROJECT - MAIN FACILITY [scale: 1" = 60']

Option B - Phase 2

- 1.** Demolish non-maintenance structures and prepare east side of site for ultimate construction.
- 2.** Construct remainder of Vehicle-Equipment Storage, and two-level component (lower level - Divisional Workshops; upper level - Administrative / Office Functions).
- 3.** Construct new fuel island with underground tanks.
- 4.** Construct new salt building and bulk material bins along Lexington with incorporation of decorative and screening surfaces along Lexington Avenue to mitigate views into operations and exposure to operational acoustics.
- 5.** Pavement installation as shown.
- 6.** Secure remainder of exposed perimeter with combination of coated chain-link and decorative screen wall fencing.



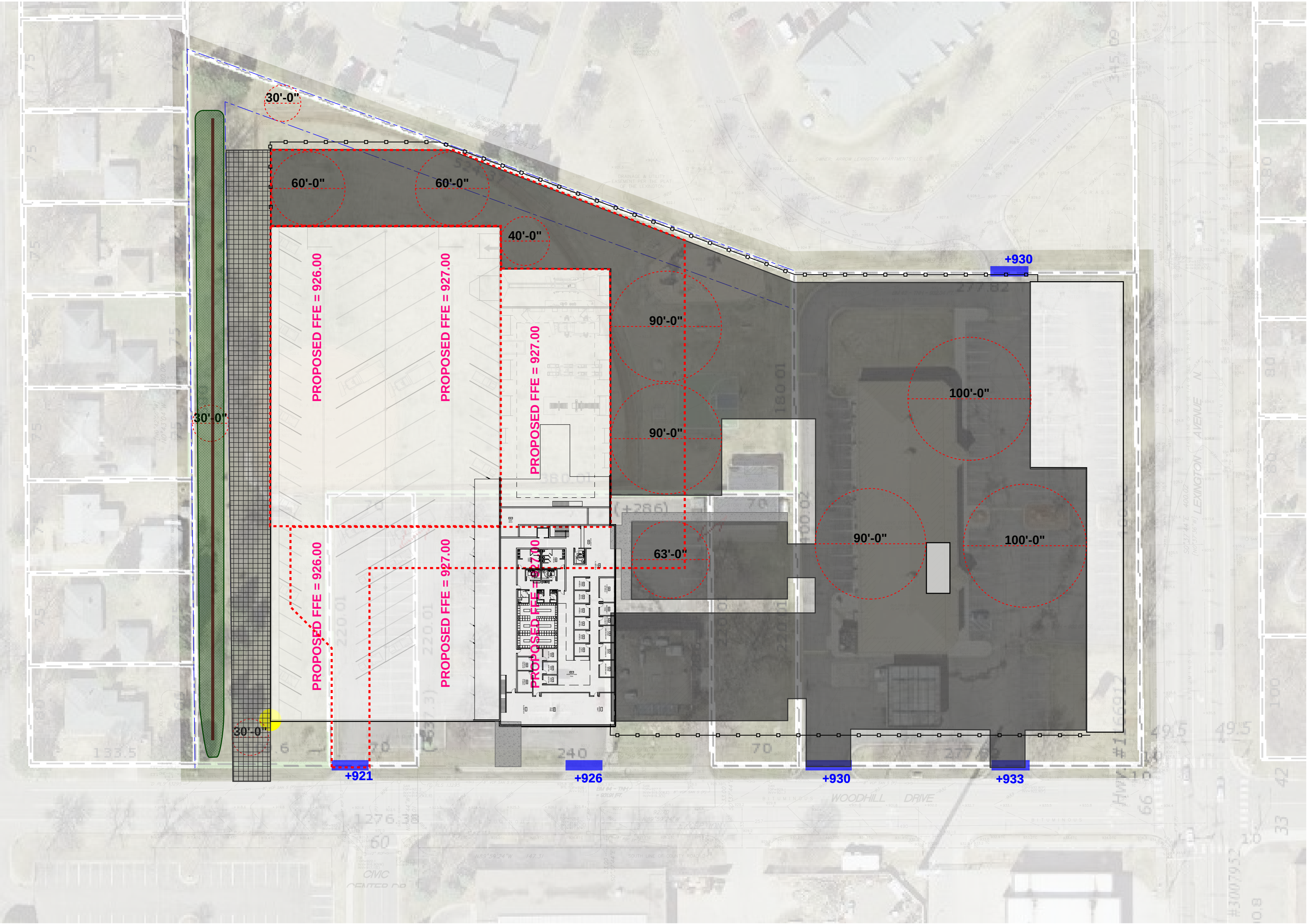
OPTION B

NORTH / SOUTH STORAGE

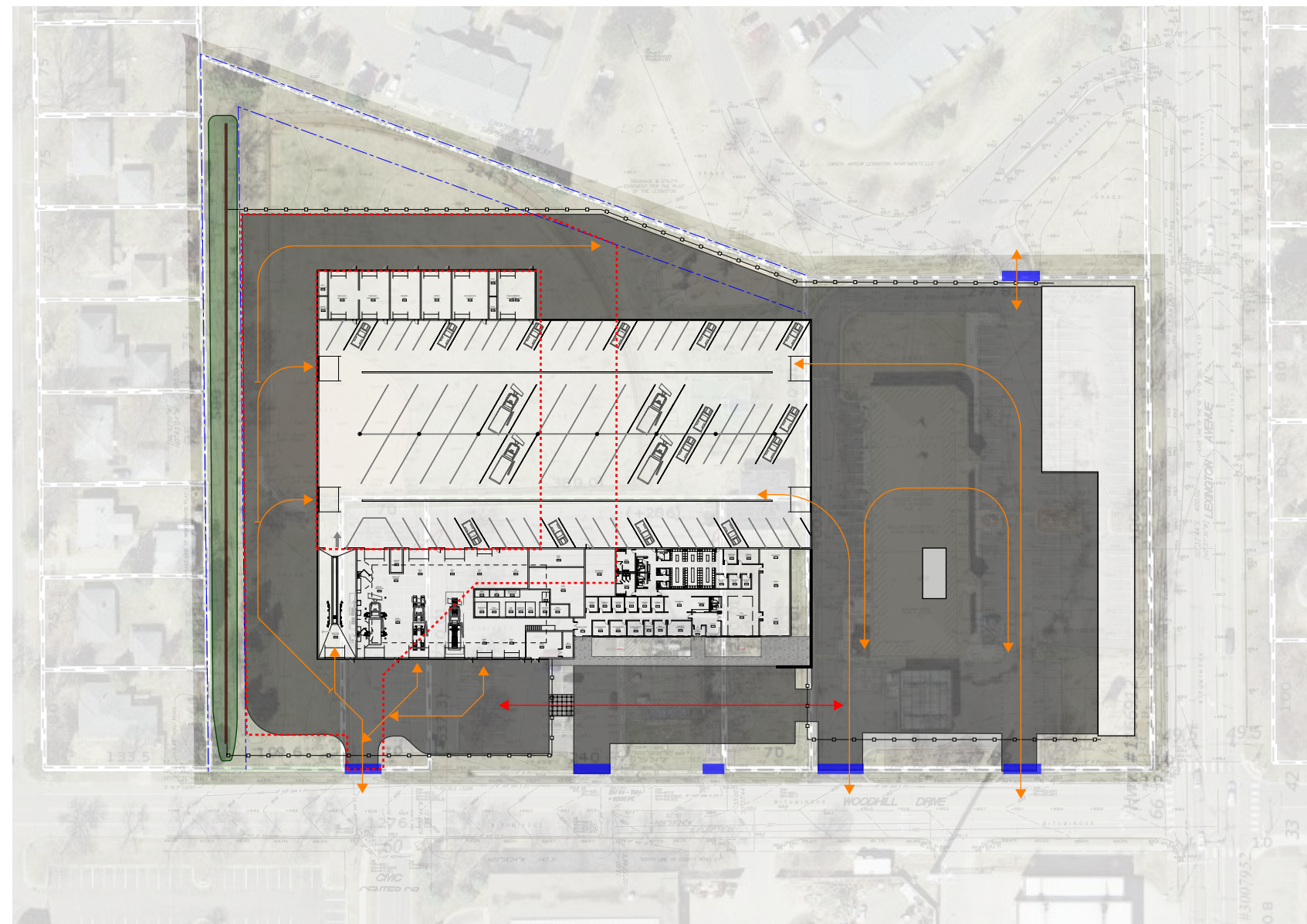
Option B - Phase 2

- 1. Demolish non-maintenance structures and prepare east side of site for ultimate construction.
- 2. Construct remainder of Vehicle-Equipment Storage, and two-level component (lower level - Divisional Workshops; upper level - Administrative / Office Functions).
- 3. Construct new fuel island with underground tanks.
- 4. Construct new salt building and bulk material bins along Lexington with incorporation of decorative and screening surfaces along Lexington Avenue to mitigate views into operations and exposure to operational acoustics.
- 5. Pavement installation as shown.
- 6. Secure remainder of exposed perimeter with combination of coated chain-link and decorative screen wall fencing.

1. ULTIMATE PROJECT - MAIN FACILITY - UPPER LEVEL [scale: 1" = 60']



OPTION A EAST/WEST STORAGE



Operational Flow

Emergency Access

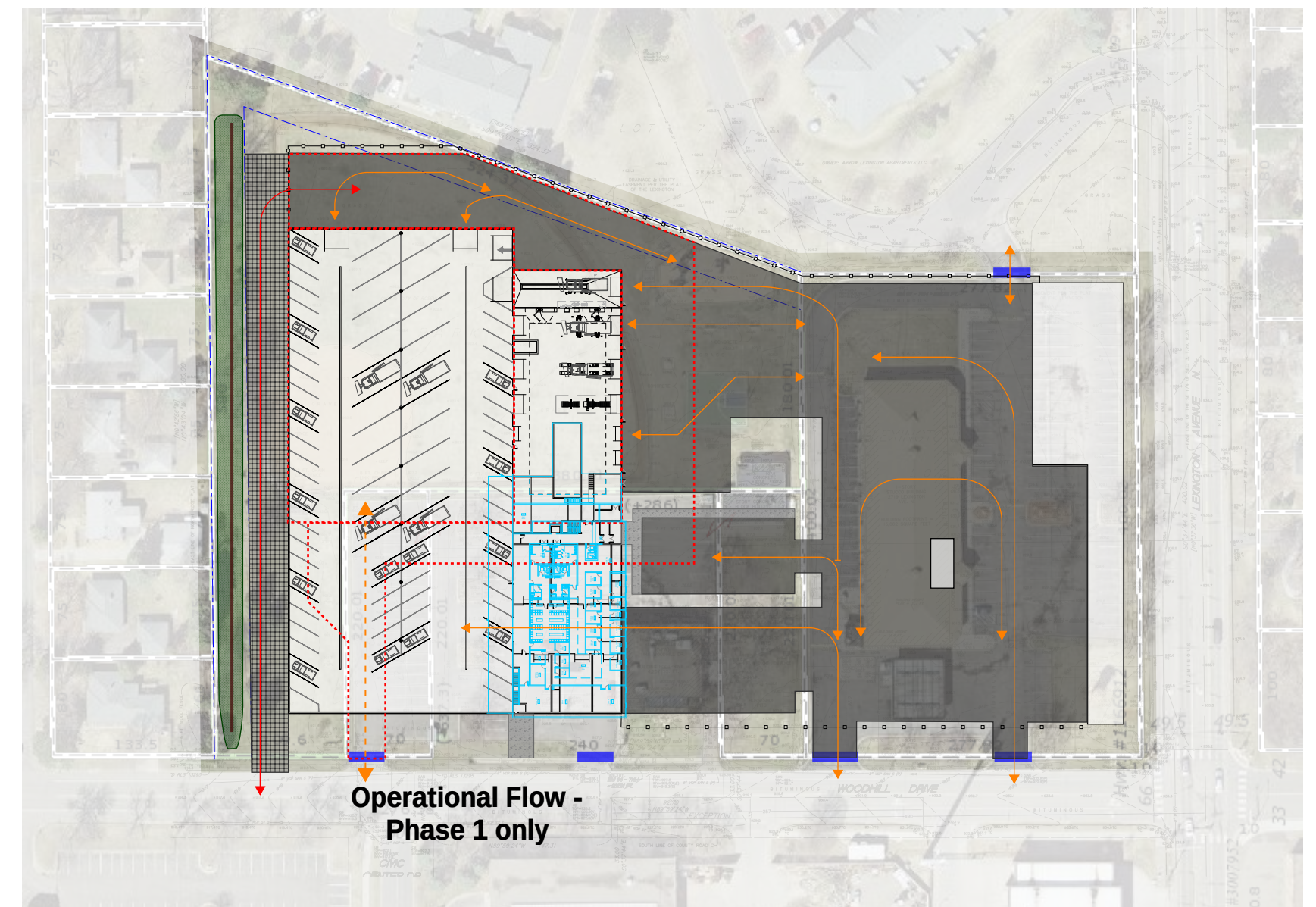
Option A - Pros

1. All operations are on a single level.
2. Phase 1 immediately constructs two operational functions (Vehicle Storage and Divisional Workshops) without further impacting VFW parking.
3. East/West orientation of the vehicle storage box allows for a greater potential yield of solar energy if PV is installed. This orientation also allows greater southern daylight exposure for our climate.
4. Daily occupied functions (repair garage and administrative functions) face an active street, increasing potential for staff view corridors and on-the-street safety, while also interacting with the north-south Civic Campus Axis.
5. Maintenance Facility is 90' from western property line. Distance is the greatest factor for reducing noise pollution.
6. Operational movements between daily operations and staff/public lot access are separated, while still allowing for emergency pass-through access.
7. East/West orientation allows for a greater area of greenspace buffer in the northwest corner.
8. Smaller initial construction phases provide a smaller initial fiscal impact.

Option A - Cons

1. Operational traffic is accessing site closer to Griggs Avenue neighborhood. Operational flow should only be west to east, but there is potential for reverse flow in emergency situations.
2. Must maintain all Woodhill access points for ultimate operations.
3. Proposed grades and finished floor elevations require significant fill in Phase 1 and cut in phase 2, thus earthwork balancing is out of sequence.
4. Administrative function would be between 1.5' and 2.5' higher than adjacent building functions and potentially 2.5' lower than some exterior grade areas. This requires interior ramping and potential exterior retaining walls. Administrative area shown would likely increase in size to accommodate ramping / vertical circulation.
5. Largest potential pavement area in ultimate construction.
6. Smaller initial construction phases increase overall project time line and delayed demolition of existing maintenance facility to make way for other functions as part of the Civic Campus Master Plan.

OPTION B NORTH/SOUTH STORAGE



Operational Flow -
Phase 1 only

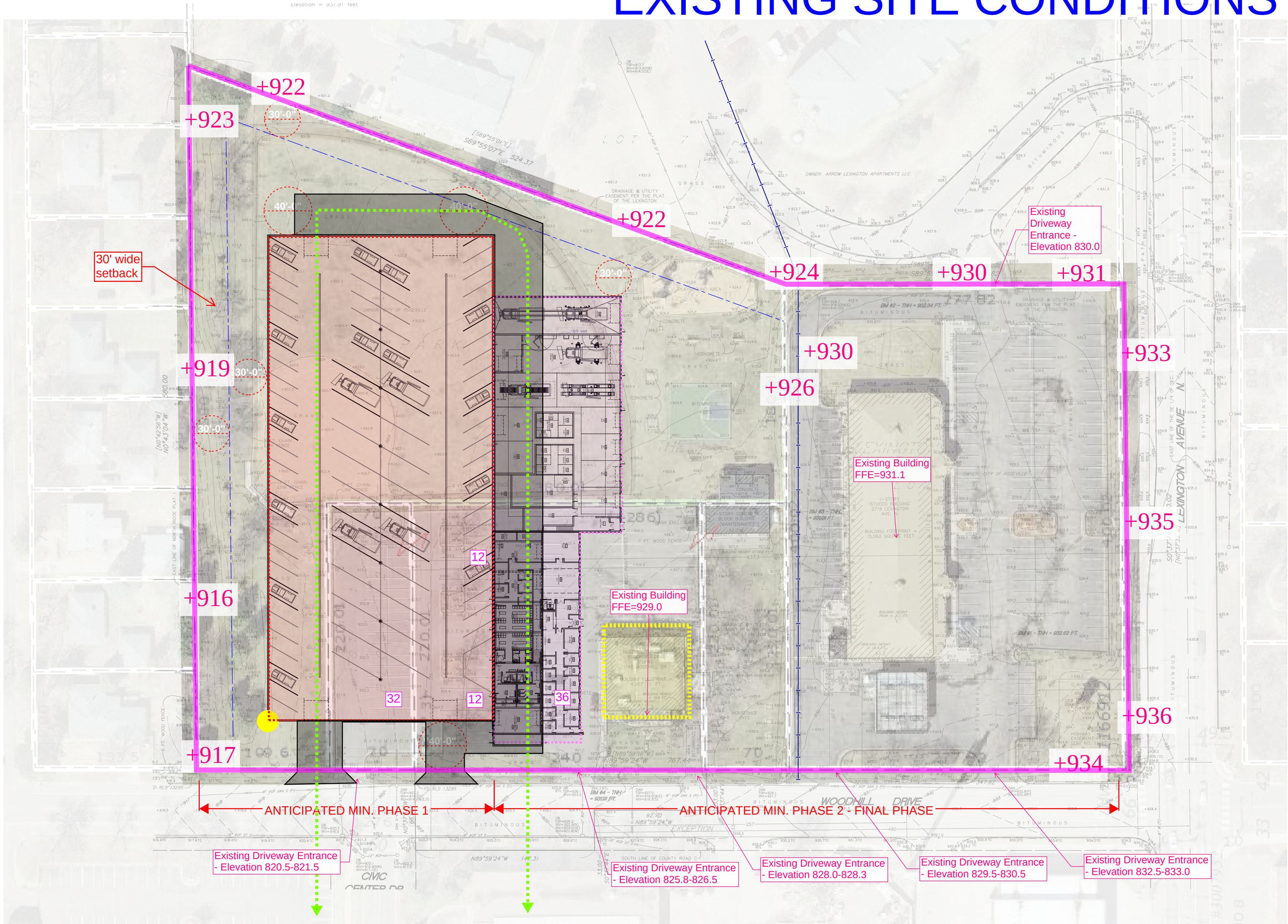
Option B - Pros

1. Separation of operations by level increases the desired separation between dirty and clean functions.
2. Phase 1 has two potential components to be built: Vehicle Storage and Central Repair Garage. Construction of both increases potential for existing facility demolition acceleration and expediting other construction projects.
3. Phase 1 distance from Woodhill allows an appropriate slope to be created to a new proposed floor elevation, that will also facilitate future phase construction.
4. Phase 1 construction can primarily remain on the northern most portion of the site, allowing more of the existing parking west of the VFW to remain intact.
5. Maintenance Facility provides a flush face and large mass towards Griggs Avenue Neighbors that screens activities and noise pollution.
6. Upper level administrative functions create an increased ability for exterior views for staff to operations and towards the Civic Campus north/south axis, and creates a visual terminus to that axis.
7. Area of pavement required for this operation is less than option A.
8. Building Construction on the western half of the site allows greater ability to adjust grades on the eastern portion.
9. Operational traffic flows from east to west, but is screened by the building, and two existing Woodhill access points could be abandoned and allow for greater pedestrian access to the Civic Campus from the west.

Option B - Cons

1. Operations are on two levels, increasing foot traffic and cost for vertical circulation space and functions.
2. Construction of both Phase 1.1 (Vehicle Storage) and 1.2 (Central Repair Garage) reduces the available area for potential VFW exterior functions and potential shared increased parking area.
3. Maintenance Facility as much closer to Griggs Avenue Neighbors than Option A, and an Emergency Access is still required. The height and size of the wall along the western edge should have additional design considerations to soften the appearance and mass towards the neighbors.
4. Administrative and operational traffic use the same site entries, which could create operational traffic conflicts.
5. Location of divisional workshops under the administrative area limits height in these functions. Location along the south requires only inward facing access to a central drive access.
6. Vehicle Storage requires interior U drive access, circulating from north to south and north for exit.
7. Overall north/south dimension of the vehicle storage box reduces the available area in the northwest corner of the site for greenspace buffer.
8. Has the potential to be the largest initial fiscal impact, despite potential long-term time line efficiencies.

EXISTING SITE CONDITIONS

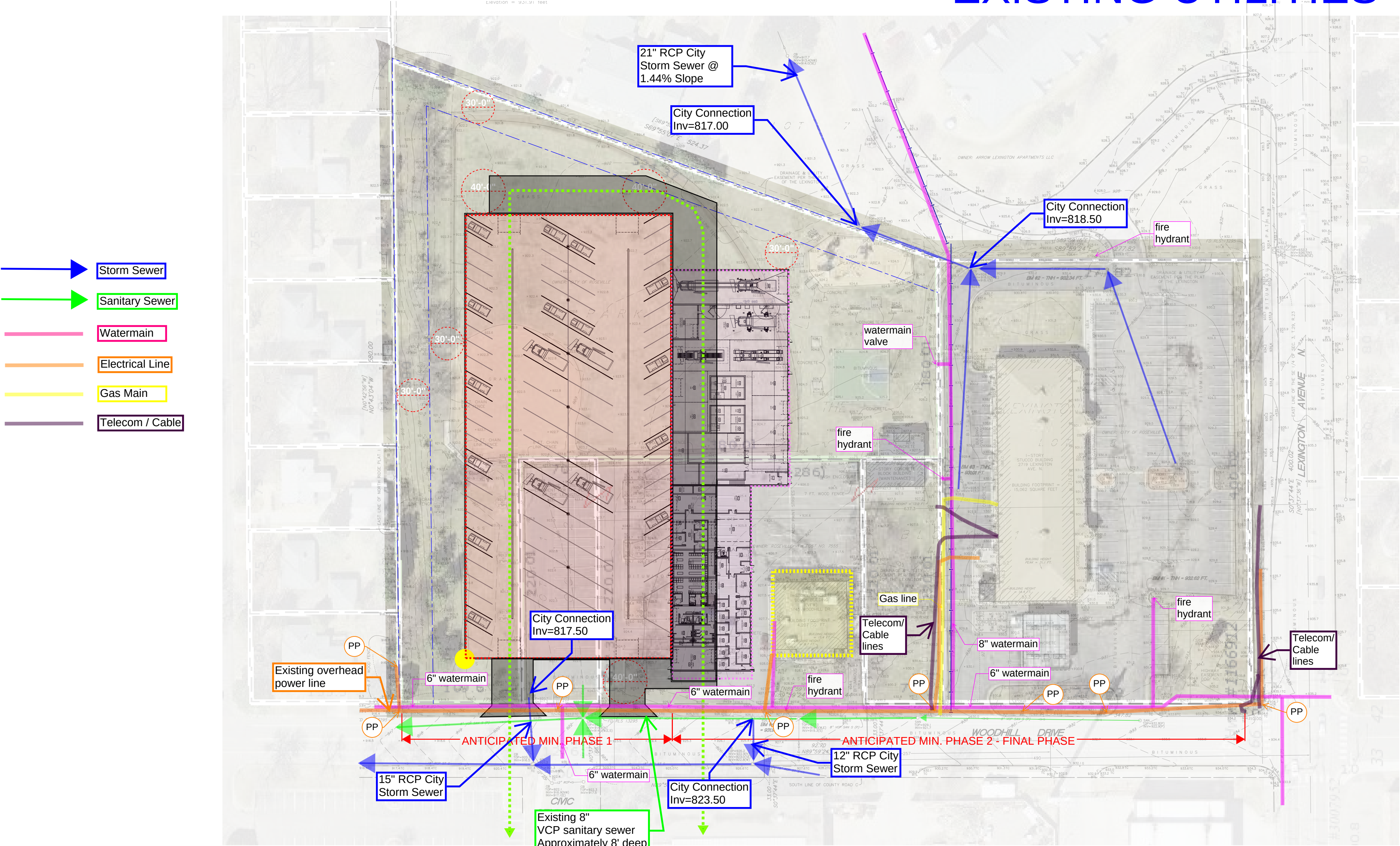


CONFIRMED PROGRAM SITE FIT [scale: 1" = 60']

ROSEVILLE MAINTENANCE

PIERCE PINI &
ASSOCIATES

EXISTING UTILITIES



CONFIRMED PROGRAM SITE FIT [scale: 1" = 60']

ROSEVILLE MAINTENANCE

PIERCE PINI &
ASSOCIATES

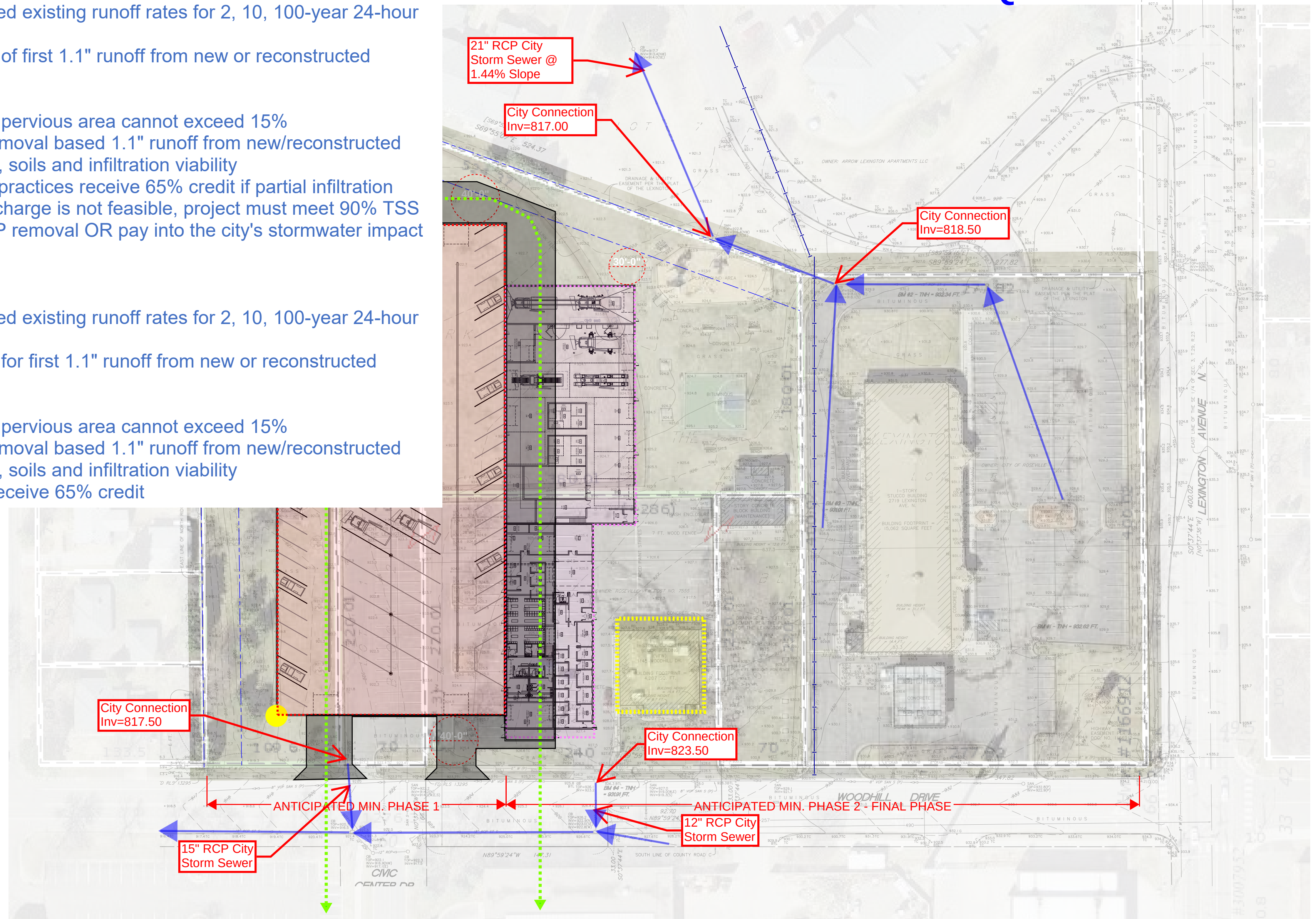
STORMWATER REQUIREMENTS

City of Roseville

1. Rate Control: Cannot exceed existing runoff rates for 2, 10, 100-year 24-hour rainfall events
2. Volume Control: Infiltration of first 1.1" runoff from new or reconstructed impervious surfaces
3. Water Quality:
 - a. Area of untreated impervious area cannot exceed 15%
 - b. Total phosphorus removal based 1.1" runoff from new/reconstructed impervious surfaces, soils and infiltration viability
 - c. Filtration / recharge practices receive 65% credit if partial infiltration
 - d. Where infiltration/recharge is not feasible, project must meet 90% TSS removal and 60% TP removal OR pay into the city's stormwater impact fund

Rice Creek Watershed District

1. Rate Control: Cannot exceed existing runoff rates for 2, 10, 100-year 24-hour rainfall events
2. Volume Control: Infiltration for first 1.1" runoff from new or reconstructed impervious surfaces
3. Water Quality:
 - a. Area of untreated impervious area cannot exceed 15%
 - b. Total phosphorus removal based 1.1" runoff from new/reconstructed impervious surfaces, soils and infiltration viability
 - c. Filtration practices receive 65% credit



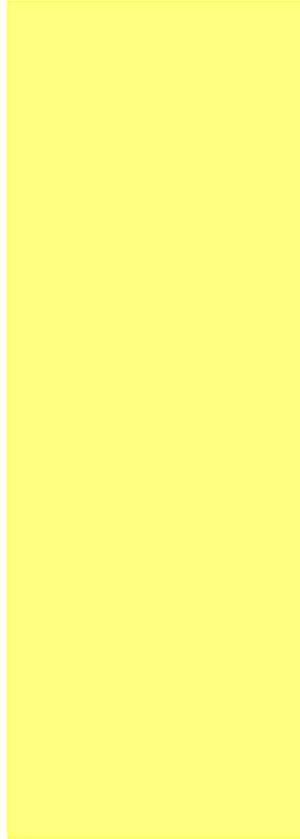
CONFIRMED PROGRAM SITE FIT [scale: 1" = 60']

ROSEVILLE MAINTENANCE

PIERCE PINI &
ASSOCIATES

PRELIMINARY STORMWATER

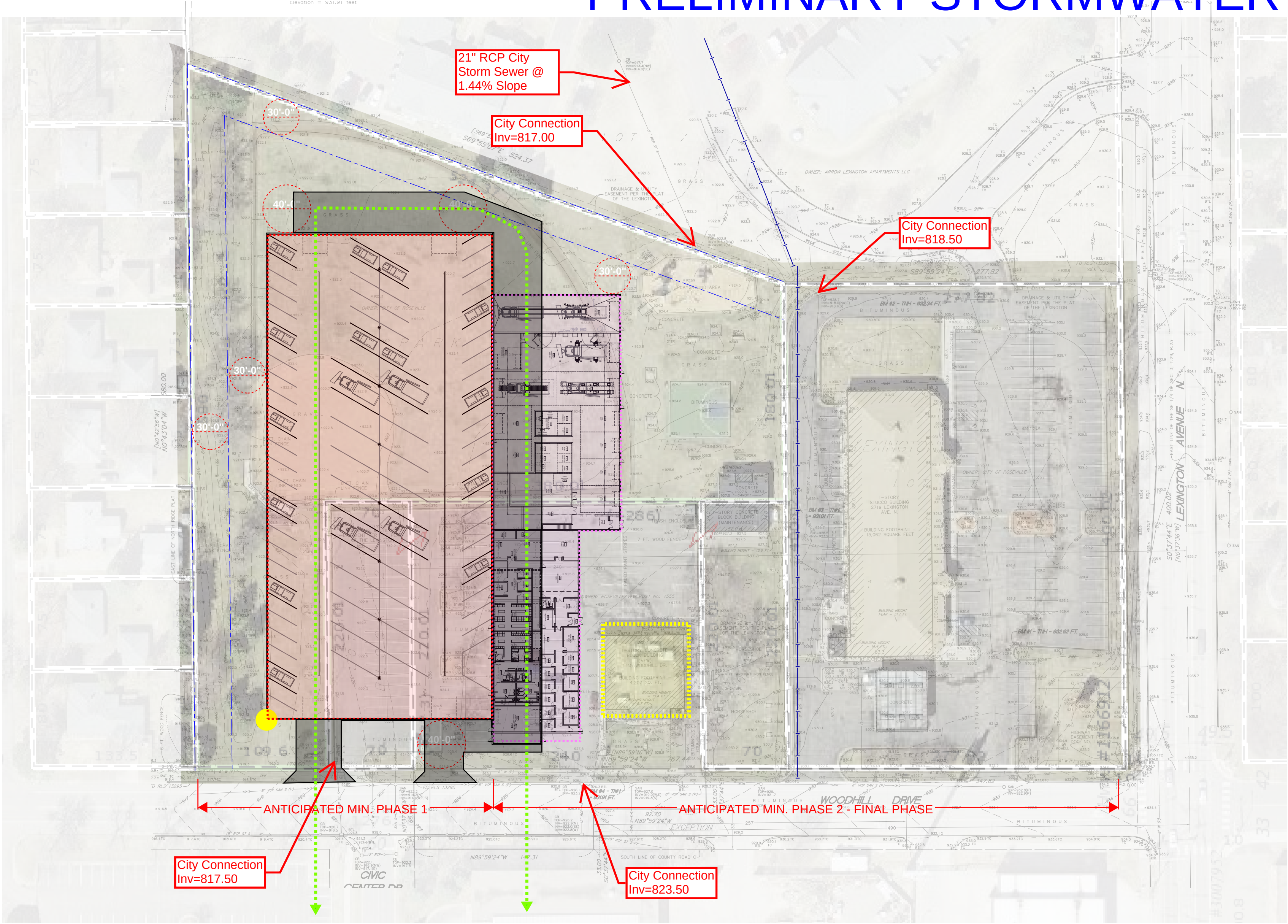
60" dia INFILTRATION pipe gallery
10 rows x 308' long = 24,200 SF
Water quality volume = 29,600 CF



60" dia FILTRATION pipe gallery
20 rows x 448' long = 38,000 SF
Water quality volume = 44,600 CF



10x16
Kraken
Filtration
Vault

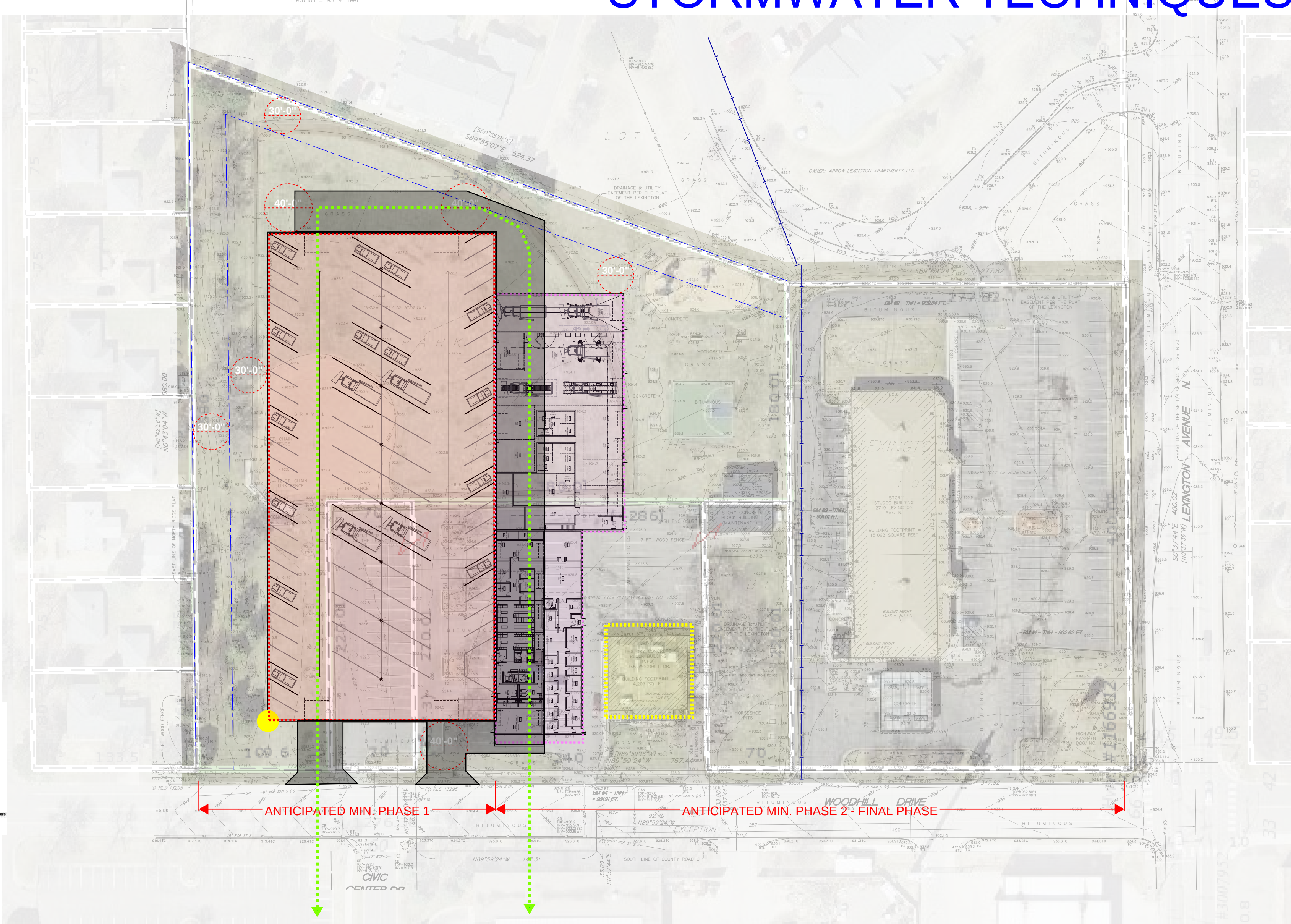
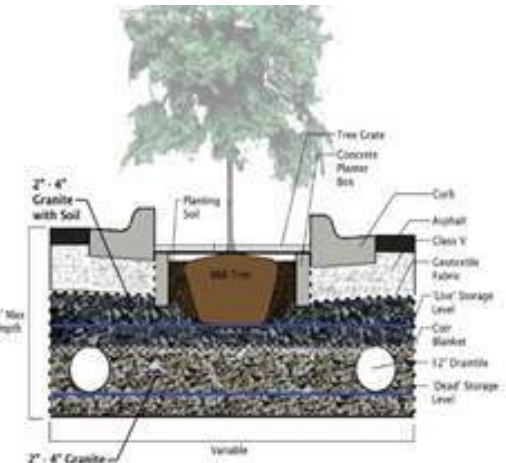
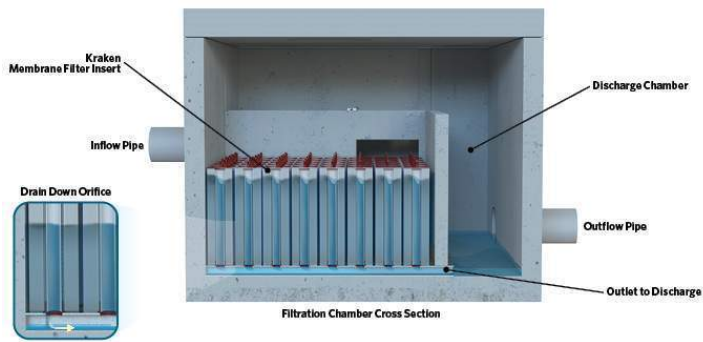


CONFIRMED PROGRAM SITE FIT [scale: 1" = 60']

ROSEVILLE MAINTENANCE

PIERCE PINI &
ASSOCIATES

STORMWATER TECHNIQUES



CONFIRMED PROGRAM SITE FIT [scale: 1" = 60']

ROSEVILLE MAINTENANCE

PIERCE PINI &
ASSOCIATES

202520262027Revision Date: 06-Oct-22				
Description	Phase 1 Maintenance Facility Phase 1	Phase 2 VFW/License Center	Phase 3 Maintenance Facility Phase 2	Remarks
Initial City Revenue				
Utility Rebates				
Other Income				
Interest Earnings				
Total Available Dollars	\$0	\$0	\$0	
Construction Costs				
Building Construction				
Building	\$14,877,272	\$8,657,916	\$14,545,899	
Site	\$2,715,836	\$1,671,702	\$2,689,784	
Design Contingency8%	\$1,407,448.64	\$826,369.44	\$1,378,854.64	Potential bad soils (similar to fire station)
Construction Contingency5%	\$950,027.83	\$557,799.37	\$930,726.88	
Construction Escalation7%/Year From 2022	\$4,189,623	\$3,279,860	\$6,840,843	
Subtotal	\$24,140,207	\$14,993,647	\$26,386,107	
Soft Costs				
25%	\$6,035,052	\$3,748,412	\$6,596,527	
Architectural & Engineering Fees				In above
Construction Manager Fee				In above
Asbestos Abatement				In above
Construction Manager Site Services				In above
Upgraded Xcel Service (Gas & Electric)				In above
Permitting				In above
SAC/WAC				In above
Construction Testing / Special inspections				In above
TAB & Commissioning				In above
Builders Risk Insurance				In above
Owner Soft Cost Contingency	\$0	\$0	\$0	
Subtotal	\$6,035,052	\$3,748,412	\$6,596,527	
Owner Costs				
FFE	\$75,000	\$131,194	\$150,000	
Technology	\$120,000.00	\$300,000.00	\$400,000.00	
Owner Moving Costs	\$100,000	\$50,000	\$100,000	Estimate Allowance
AV Not Included in Plans	\$0	\$0	\$0	
Misc. Fixtures (Fridges/Kiosks/Scanners etc.)	\$0	\$0	\$0	
Owner Cost Contingency5%	\$14,750	\$24,060	\$32,500	
Subtotal	\$309,750	\$505,254	\$682,500	
Total Project Costs	\$30,485,009	\$19,247,313	\$33,665,134	
				Grand Total
Project Balance Available over / (under)	\$30,485,009	\$19,247,313	\$33,665,134	\$83,397,456

Item Description	QTY	UOM	Unit Price	Total
EXISTING CONDITIONS	187,330	GSF	\$8.42	\$1,577,671
SITEWORK/BUILDING EARTHWORK	187,330	GSF	\$32.08	\$6,008,656
FOUNDATION / SOG	187,330	GSF	\$14.42	\$2,702,220
BUILDING STRUCTURE	187,330	GSF	\$31.53	\$5,905,692
EXTERIOR ENCLOSURE	187,330	GSF	\$44.96	\$8,421,491
ROOF	187,330	GSF	\$20.31	\$3,804,750
INTERIOR CONSTRUCTION	187,330	GSF	\$17.83	\$3,339,885
EQUIPMENT FURNITURE	187,330	GSF	\$10.35	\$1,939,000
SPECIAL CONSTRUCTION	187,330	GSF	\$1.45	\$272,000
CONVEYING SYSTEMS	187,330	GSF	\$1.71	\$320,000
FIRE PROTECTION	187,330	GSF	\$2.71	\$508,150
PLUMBING	187,330	GSF	\$10.61	\$1,988,445
HVAC	187,330	GSF	\$26.70	\$5,001,750
ELECTRICAL	187,330	GSF	\$17.98	\$3,368,700
Subtotal	187,330	GSF	\$241.06	\$45,158,409

Item Description	QTY	UOM	Unit Price	Total
A1 Phase 1 Site	169,500	SF	16.02	\$2,715,836
EXISTING CONDITIONS	169,500	SF	1.50	\$254,250
SITEWORK/BUILDING EARTHWORK	169,500	SF	14.52	\$2,461,586
A1 Phase 1 Vehicle Maintenance	18,500	GSF	352.64	\$6,523,842
SITEWORK/BUILDING EARTHWORK	18,500	GSF	2.50	\$46,250
FOUNDATION / SOG	18,500	GSF	30.65	\$567,000
BUILDING STRUCTURE	18,500	GSF	52.52	\$971,692
EXTERIOR ENCLOSURE	18,500	GSF	70.75	\$1,308,900
ROOF	18,500	GSF	25.00	\$462,500
INTERIOR CONSTRUCTION	18,500	GSF	13.57	\$251,000
EQUIPMENT FURNITURE	18,500	GSF	58.65	\$1,085,000
FIRE PROTECTION	18,500	GSF	3.00	\$55,500
PLUMBING	18,500	GSF	16.00	\$296,000
HVAC	18,500	GSF	55.00	\$1,017,500
ELECTRICAL	18,500	GSF	25.00	\$462,500
A1 Phase 1 Vehicle Storage	45,000	GSF	185.63	\$8,353,430
SITEWORK/BUILDING EARTHWORK	45,000	GSF	2.50	\$112,500
FOUNDATION / SOG	45,000	GSF	15.00	\$675,000
BUILDING STRUCTURE	45,000	GSF	33.35	\$1,500,750
EXTERIOR ENCLOSURE	45,000	GSF	56.71	\$2,551,730
ROOF	45,000	GSF	27.00	\$1,215,000
INTERIOR CONSTRUCTION	45,000	GSF	8.43	\$379,200
FIRE PROTECTION	45,000	GSF	3.00	\$135,000
PLUMBING	45,000	GSF	9.15	\$411,750
HVAC	45,000	GSF	14.50	\$652,500
ELECTRICAL	45,000	GSF	16.00	\$720,000
A1 Phase 2 License Center/Dance Studio	19,600	GSF	263.14	\$5,157,541
SITEWORK/BUILDING EARTHWORK	19,600	GSF	2.74	\$53,730
FOUNDATION / SOG	19,600	GSF	10.75	\$210,700
BUILDING STRUCTURE	19,600	GSF	36.80	\$721,280

Item Description	QTY	UOM	Unit Price	Total
EXTERIOR ENCLOSURE	19,600	GSF	50.19	\$983,631
ROOF	19,600	GSF	12.50	\$245,000
INTERIOR CONSTRUCTION	19,600	GSF	35.00	\$686,000
EQUIPMENT FURNITURE	19,600	GSF	10.00	\$196,000
CONVEYING SYSTEMS	19,600	GSF	8.16	\$160,000
FIRE PROTECTION	19,600	GSF	4.00	\$78,400
PLUMBING	19,600	GSF	12.00	\$235,200
HVAC	19,600	GSF	55.00	\$1,078,000
ELECTRICAL	19,600	GSF	26.00	\$509,600
A1 Phase 2 Site	145,614	SF	11.48	\$1,671,702
EXISTING CONDITIONS	145,614	SF	3.66	\$533,421
SITework/BUILDING EARTHWORK	145,614	SF	7.82	\$1,138,281
A1 Phase 2 VFW	10,500	GSF	333.37	\$3,500,375
SITework/BUILDING EARTHWORK	10,500	GSF	5.50	\$57,750
FOUNDATION / SOG	10,500	GSF	20.07	\$210,700
BUILDING STRUCTURE	10,500	GSF	33.35	\$350,175
EXTERIOR ENCLOSURE	10,500	GSF	47.12	\$494,750
ROOF	10,500	GSF	25.00	\$262,500
INTERIOR CONSTRUCTION	10,500	GSF	45.00	\$472,500
EQUIPMENT FURNITURE	10,500	GSF	43.33	\$455,000
FIRE PROTECTION	10,500	GSF	4.00	\$42,000
PLUMBING	10,500	GSF	22.00	\$231,000
HVAC	10,500	GSF	55.00	\$577,500
ELECTRICAL	10,500	GSF	33.00	\$346,500
A1 Phase 3 Admin	14,500	GSF	315.21	\$4,570,600
EXISTING CONDITIONS	14,500	GSF	3.45	\$50,000
BUILDING STRUCTURE	14,500	GSF	73.60	\$1,067,200
EXTERIOR ENCLOSURE	14,500	GSF	30.13	\$436,900
ROOF	14,500	GSF	25.00	\$362,500
INTERIOR CONSTRUCTION	14,500	GSF	55.00	\$797,500

Item Description	QTY	UOM	Unit Price	Total
EQUIPMENT FURNITURE	14,500	GSF	8.00	\$116,000
CONVEYING SYSTEMS	14,500	GSF	11.03	\$160,000
FIRE PROTECTION	14,500	GSF	4.00	\$58,000
PLUMBING	14,500	GSF	20.00	\$290,000
HVAC	14,500	GSF	55.00	\$797,500
ELECTRICAL	14,500	GSF	30.00	\$435,000
A1 Phase 3 Covered Storage	6,800	GSF	76.24	\$518,400
FOUNDATION / SOG	6,800	GSF	29.00	\$197,200
SPECIAL CONSTRUCTION	6,800	GSF	40.00	\$272,000
ELECTRICAL	6,800	GSF	7.24	\$49,200
A1 Phase 3 Fleet Fueling	1	EA	431,800.00	\$431,800
SITework/BUILDING EARTHWORK	1	EA	431,800.00	\$431,800
A1 Phase 3 Salt & Sand Storage	11,510	GSF	147.82	\$1,701,385
SITework/BUILDING EARTHWORK	11,510	GSF	2.50	\$28,775
FOUNDATION / SOG	11,510	GSF	12.00	\$138,120
BUILDING STRUCTURE	11,510	GSF	27.00	\$310,770
EXTERIOR ENCLOSURE	11,510	GSF	71.94	\$828,000
ROOF	11,510	GSF	25.00	\$287,750
PLUMBING	11,510	GSF	7.00	\$80,570
HVAC	11,510	GSF	1.39	\$16,000
ELECTRICAL	11,510	GSF	0.99	\$11,400
A1 Phase 3 Shops	14,500	GSF	175.82	\$2,549,325
EXISTING CONDITIONS	14,500	GSF	3.45	\$50,000
SITework/BUILDING EARTHWORK	14,500	GSF	2.50	\$36,250
FOUNDATION / SOG	14,500	GSF	18.00	\$261,000
EXTERIOR ENCLOSURE	14,500	GSF	28.13	\$407,825
ROOF	14,500	GSF	12.41	\$180,000
INTERIOR CONSTRUCTION	14,500	GSF	34.83	\$505,000
EQUIPMENT FURNITURE	14,500	GSF	6.00	\$87,000

Item Description	QTY	UOM	Unit Price	Total
FIRE PROTECTION	14,500	GSF	3.50	\$50,750
PLUMBING	14,500	GSF	12.00	\$174,000
HVAC	14,500	GSF	30.00	\$435,000
ELECTRICAL	14,500	GSF	25.00	\$362,500
A1 Phase 3 Site	199,000	SF	11.35	\$2,257,985
EXISTING CONDITIONS	199,000	SF	3.47	\$690,000
SITework/BUILDING EARTHWORK	199,000	SF	7.88	\$1,567,985
A1 Phase 3 Vehicle Storage	29,500	GSF	176.48	\$5,206,189
SITework/BUILDING EARTHWORK	29,500	GSF	2.50	\$73,750
FOUNDATION / SOG	29,500	GSF	15.00	\$442,500
BUILDING STRUCTURE	29,500	GSF	33.35	\$983,825
EXTERIOR ENCLOSURE	29,500	GSF	47.79	\$1,409,754
ROOF	29,500	GSF	26.76	\$789,500
INTERIOR CONSTRUCTION	29,500	GSF	8.43	\$248,685
FIRE PROTECTION	29,500	GSF	3.00	\$88,500
PLUMBING	29,500	GSF	9.15	\$269,925
HVAC	29,500	GSF	14.50	\$427,750
ELECTRICAL	29,500	GSF	16.00	\$472,000
Subtotal	187,330	GSF	241.06	\$45,158,409

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
1	A1 Phase 1 Site					
2	01 EC - EXISTING CONDITIONS					
3	31 A - Site Clearing & Earthwork					
4	Selective Site Demolition & Paving Removals		169,500.00	SF	\$1.50	\$254,250
5	Site Clearing & Earthwork Total		169,500.00	SF	\$1.50	\$254,250
6	EXISTING CONDITIONS Total		169,500.00	SF	\$1.50	\$254,250
7	02 SW - SITEWORK/BUILDING EARTHWORK					
8	31 A - Site Clearing & Earthwork					
9	Cut		2,916.11	CY	\$5.50	\$16,039
10	Fill		1,998.74	CY	\$5.50	\$10,993
11	Export		1,146.71	CY	\$25.00	\$28,668
12	Finish Grade		169,500.00	SF	\$0.10	\$16,950
13	Import & Place Topsoil		587.17	CY	\$85.00	\$49,909
14	Earthen Berm		456.00	CY	\$85.00	\$38,760
15	Site Clearing & Earthwork Total		169,500.00	SF	\$0.95	\$161,319
16	32 A - Asphalt Paving					
17	Paving Package - HD		5,426.00	SY	\$50.60	\$274,556
18	Paving Package - HD Emergency Drive		1,916.67	SY	\$50.60	\$96,983
19	Aggregate Subbase		3,029.52	TN	\$15.00	\$45,443
20	Aggregate Subbase		1,070.14	TN	\$15.00	\$16,052
21	Asphalt Paving Total		169,500.00	SF	\$2.55	\$433,034
22	32 B - Concrete Paving					
23	Concrete Curb & Gutter		1,467.00	LF	\$26.00	\$38,142
24	Concrete Paving - Heavy Duty Aprons		3,278.00	SF	\$20.00	\$65,560
25	Concrete Sidewalk		800.00	SF	\$10.00	\$8,000
26	Concrete Paving Total		169,500.00	SF	\$0.66	\$111,702
27	32 D - Fence Package					
28	Black Vinyl Coated Fencing 8' Tall		1,187.00	LF	\$35.00	\$41,545
29	Vertical Lift Arm Gates		2.00	EA	\$25,000.00	\$50,000
30	Decorative Screen Wall - 12' Tall Above Berm (534 LF)		6,408.00	SF	\$40.00	\$256,320
31	Fence Package Total		169,500.00	SF	\$2.05	\$347,865
32	32 E - Modular Retaining Wall					
33	Modular Retaining Wall @ Ea Side of Berm		5,340.00	SF	\$45.00	\$240,300
34	Modular Retaining Wall Total		169,500.00	SF	\$1.42	\$240,300
35	32 F - Landscape & Irrigation					
36	Irrigation		31,707.00	SF	\$0.50	\$15,854
37	Sod		3,523.00	SY	\$6.00	\$21,138
38	Landscaping Package		1.00	ALW	\$75,000.00	\$75,000
39	Landscape & Irrigation Total		169,500.00	SF	\$0.66	\$111,992
40	33 A - Site Utilities Package					
41	Water		600.00	LF	\$100.00	\$60,000
42	Hydrants		6.00	EA	\$8,500.00	\$51,000
43	Sanitary		225.00	LF	\$75.00	\$16,875
44	Storm		1,000.00	LF	\$80.00	\$80,000
45	Storm Structures		15.00	EA	\$6,500.00	\$97,500
46	UG Storm Retention System		1.00	EA	\$750,000.00	\$750,000
47	Site Utilities Package Total		169,500.00	SF	\$6.23	\$1,055,375
48	SITEWORK/BUILDING EARTHWORK Total		169,500.00	SF	\$14.52	\$2,461,586



Roseville Civic Campus Master Plan

Client: City of Roseville
Architect: BKV
Location: Roseville, Minnesota

Date: 09/30/2022
Project Start: TBD
Document Date: 09/09/2022
Conceptual

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
49	A1 Phase 1 Site Total		169,500.00	SF	\$16.02	\$2,715,836

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
51	A1 Phase 1 Vehicle Maintenance					
52	02 SW - SITEWORK/BUILDING EARTHWORK					
53	31 A - Site Clearing & Earthwork					
54	Footing/Foundation Excavation		18,500.00	SF	\$2.50	\$46,250
55	Site Clearing & Earthwork Total		18,500.00	GSF	\$2.50	\$46,250
56	SITEWORK/BUILDING EARTHWORK Total		18,500.00	GSF	\$2.50	\$46,250
57	03 FS - FOUNDATION / SOG					
58	03 A - Concrete					
59	Concrete Foundations		18,500.00	SF	\$4.00	\$74,000
60	Lift Pits		4.00	EA	\$20,000.00	\$80,000
61	Lube Pit		4.00	EA	\$20,000.00	\$80,000
62	Slab on Grade - 08"		18,500.00	SF	\$11.00	\$203,500
63	Rigid Insulation for In Floor Heat		18,500.00	SF	\$6.00	\$111,000
64	Vapor Barrier on Grade		18,500.00	SF	\$1.00	\$18,500
65	Concrete Total		18,500.00	GSF	\$30.65	\$567,000
66	FOUNDATION / SOG Total		18,500.00	GSF	\$30.65	\$567,000
67	04 BS - BUILDING STRUCTURE					
68	03 A - Concrete					
69	Concrete Fill on Precast @ Mezz		6,572.00	SF	\$10.00	\$65,720
70	Concrete Total		18,500.00	GSF	\$3.55	\$65,720
71	03 B - Structural Precast					
72	Precast Structural Concrete @ Mezz		6,572.00	SF	\$30.00	\$197,160
73	Structural Precast Total		18,500.00	GSF	\$10.66	\$197,160
74	05 A - Structural Steel Material					
75	Floor Framing (Allow 5#/SF) @ Mezz		16.43	TN	\$3,500.00	\$57,505
76	Roof Framing (Allow 8#/SF)		74.00	TN	\$5,500.00	\$407,000
77	Metal Roof Deck		18,500.00	SF	\$5.00	\$92,500
78	Structural Steel Material Total		18,500.00	GSF	\$30.11	\$557,005
79	05 B - Structure Steel Erection					
80	Roof Framing Erection		74.00	TN	\$1,400.00	\$103,600
81	Floor Framing Erection		16.43	TN	\$1,400.00	\$23,002
82	Metal Roof Deck Erection		18,500.00	SF	\$0.75	\$13,875
83	Structure Steel Erection Total		18,500.00	GSF	\$7.59	\$140,477
84	05 D - Miscellaneous Metals					
85	Grating @ Wash		206.00	SF	\$55.00	\$11,330
86	Miscellaneous Metals Total		18,500.00	GSF	\$0.61	\$11,330
87	BUILDING STRUCTURE Total		18,500.00	GSF	\$52.52	\$971,692
88	05 EE - EXTERIOR ENCLOSURE					
89	03 B - Structural Precast					
90	Precast Structural Concrete = 390 LF x 34' tall		13,260.00	SF	\$65.00	\$861,900
91	Structural Precast Total		18,500.00	GSF	\$46.59	\$861,900
92	05 E - Metal Stairs/Railings					
93	Steel Guardrail @ Mezz		409.00	LF	\$200.00	\$81,800
94	Metal Stairs/Railings Total		18,500.00	GSF	\$4.42	\$81,800
95	08 E - Traffic Doors/Overhead/Folding/Coiling					
96	OH Doors		5.00	EA	\$15,000.00	\$75,000
97	OH Doors @ Wash Bay		1.00	EA	\$25,000.00	\$25,000

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
98	Traffic Doors/Overhead/Folding/Coiling Total		18,500.00	GSF	\$5.41	\$100,000
99	08 F - Entrances/Storefront/Curtainwall					
100	Entrances and Storefronts (25%)		3,315.00	SF	\$80.00	\$265,200
101	Entrances/Storefront/Curtainwall Total		18,500.00	GSF	\$14.34	\$265,200
102	EXTERIOR ENCLOSURE Total		18,500.00	GSF	\$70.75	\$1,308,900
103	06 R - ROOF					
104	07 H - Roofing					
105	Roofing Package		18,500.00	SF	\$25.00	\$462,500
106	Roofing Total		18,500.00	GSF	\$25.00	\$462,500
107	ROOF Total		18,500.00	GSF	\$25.00	\$462,500
108	07 IC - INTERIOR CONSTRUCTION					
109	03 I - Polished Concrete					
110	Burnished Concrete Floor		18,500.00	SF	\$3.00	\$55,500
111	Polished Concrete Total		18,500.00	GSF	\$3.00	\$55,500
112	05 E - Metal Stairs/Railings					
113	Metal Stairs to Mezz		10.00	VF	\$1,400.00	\$14,000
114	Metal Stairs - Install		10.00	VF	\$400.00	\$4,000
115	Metal Stairs/Railings Total		18,500.00	GSF	\$0.97	\$18,000
116	08 E - Traffic Doors/Overhead/Folding/Coiling					
117	OH Doors		4.00	EA	\$15,000.00	\$60,000
118	OH Doors @ Wash Bay		1.00	EA	\$25,000.00	\$25,000
119	Traffic Doors/Overhead/Folding/Coiling Total		18,500.00	GSF	\$4.59	\$85,000
120	09 A - Drywall					
121	Interior Finishes		18,500.00	GSF	\$5.00	\$92,500
122	Drywall Total		18,500.00	GSF	\$5.00	\$92,500
123	INTERIOR CONSTRUCTION Total		18,500.00	GSF	\$13.57	\$251,000
124	08 EF - EQUIPMENT FURNITURE					
125	11 O - General Equipment					
126	Large Capacity Lifts (Rotary, StertiKoni or Equal) 75,000#		2.00	EA	\$110,000.00	\$220,000
127	Medium Capacity Lifts 12,000-20,000#		2.00	EA	\$60,000.00	\$120,000
128	Overhead Crane, 5 Ton		1.00	EA	\$45,000.00	\$45,000
129	Packaged Vehicle Wash System w/Undercarriage Wash		1.00	EA	\$250,000.00	\$250,000
130	Bulk Vehicle Fluids Delivery System		1.00	EA	\$200,000.00	\$200,000
131	Compressed Air System		1.00	EA	\$250,000.00	\$250,000
132	General Equipment Total		18,500.00	GSF	\$58.65	\$1,085,000
133	EQUIPMENT FURNITURE Total		18,500.00	GSF	\$58.65	\$1,085,000
134	11 FP - FIRE PROTECTION					
135	21 A - Fire Protection					
136	Fire Protection Package		18,500.00	GSF	\$3.00	\$55,500
137	Fire Protection Total		18,500.00	GSF	\$3.00	\$55,500
138	FIRE PROTECTION Total		18,500.00	GSF	\$3.00	\$55,500
139	12 P - PLUMBING					
140	22 A - Plumbing					

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
141	Plumbing Package		18,500.00	GSF	\$16.00	\$296,000
142		Plumbing Total	18,500.00	GSF	\$16.00	\$296,000
143		PLUMBING Total	18,500.00	GSF	\$16.00	\$296,000
144	13 M - HVAC					
145	23 A - HVAC					
146	HVAC Package - Distribution Sytems		18,500.00	GSF	\$30.00	\$555,000
147	HVAC Package - In Floor Heat		18,500.00	GSF	\$25.00	\$462,500
148		HVAC Total	18,500.00	GSF	\$55.00	\$1,017,500
149		HVAC Total	18,500.00	GSF	\$55.00	\$1,017,500
150	15 E - ELECTRICAL					
151	26 A - Electrical					
152	Electrical Package		18,500.00	GSF	\$25.00	\$462,500
153		Electrical Total	18,500.00	GSF	\$25.00	\$462,500
154		ELECTRICAL Total	18,500.00	GSF	\$25.00	\$462,500
155	A1 Phase 1 Vehicle Maintenance Total		18,500.00	GSF	\$352.64	\$6,523,842

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
157	A1 Phase 1 Vehicle Storage					
158	02 SW - SITEWORK/BUILDING EARTHWORK					
159	31 A - Site Clearing & Earthwork					
160	Footing/Foundation Excavation		45,000.00	SF	\$2.50	\$112,500
161	Site Clearing & Earthwork Total		45,000.00	GSF	\$2.50	\$112,500
162	SITEWORK/BUILDING EARTHWORK Total		45,000.00	GSF	\$2.50	\$112,500
163	03 FS - FOUNDATION / SOG					
164	03 A - Concrete					
165	Concrete Foundations		45,000.00	SF	\$3.00	\$135,000
166	Slab on Grade - 08"		45,000.00	SF	\$11.00	\$495,000
167	Vapor Barrier on Grade		45,000.00	SF	\$1.00	\$45,000
168	Concrete Total		45,000.00	GSF	\$15.00	\$675,000
169	FOUNDATION / SOG Total		45,000.00	GSF	\$15.00	\$675,000
170	04 BS - BUILDING STRUCTURE					
171	05 A - Structural Steel Material					
172	Roof Framing (Allow 8#/SF)		180.00	TN	\$5,500.00	\$990,000
173	Metal Roof Deck		45,000.00	SF	\$5.00	\$225,000
174	Structural Steel Material Total		45,000.00	GSF	\$27.00	\$1,215,000
175	05 B - Structure Steel Erection					
176	Roof Framing Erection		180.00	TN	\$1,400.00	\$252,000
177	Metal Roof Deck Erection		45,000.00	SF	\$0.75	\$33,750
178	Structure Steel Erection Total		45,000.00	GSF	\$6.35	\$285,750
179	BUILDING STRUCTURE Total		45,000.00	GSF	\$33.35	\$1,500,750
180	05 EE - EXTERIOR ENCLOSURE					
181	03 B - Structural Precast					
182	Precast Structural Concrete = 857 LF x 34' tall		29,138.00	SF	\$65.00	\$1,893,970
183	Structural Precast Total		45,000.00	GSF	\$42.09	\$1,893,970
184	08 E - Traffic Doors/Overhead/Folding/Coiling					
185	High Speed OH Doors w/Detection Loops		5.00	EA	\$15,000.00	\$75,000
186	Traffic Doors/Overhead/Folding/Coiling Total		45,000.00	GSF	\$1.67	\$75,000
187	08 F - Entrances/Storefront/Curtainwall					
188	Entrances and Storefronts (20%)		7,284.50	SF	\$80.00	\$582,760
189	Entrances/Storefront/Curtainwall Total		45,000.00	GSF	\$12.95	\$582,760
190	EXTERIOR ENCLOSURE Total		45,000.00	GSF	\$56.71	\$2,551,730
191	06 R - ROOF					
192	07 H - Roofing					
193	Roofing Package		45,000.00	SF	\$25.00	\$1,125,000
194	Smoke Evac Hatches with Skylight Cover		4.00	EA	\$10,000.00	\$40,000
195	Roofing Total		45,000.00	GSF	\$25.89	\$1,165,000
196	08 J - Skylight					
197	Tubular Skylights (Solatube)		20.00	EA	\$2,500.00	\$50,000
198	Skylight Total		45,000.00	GSF	\$1.11	\$50,000
199	ROOF Total		45,000.00	GSF	\$27.00	\$1,215,000
200	07 IC - INTERIOR CONSTRUCTION					
201	03 I - Polished Concrete					
202	Burnished Concrete Floor		45,000.00	SF	\$3.00	\$135,000

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
203		Polished Concrete Total	45,000.00	GSF	\$3.00	\$135,000
204	09 A - Drywall					
205	Interior Finishes		45,000.00	GSF	\$5.00	\$225,000
206	Shelving - 240 LF x 4'		960.00	GSF	\$20.00	\$19,200
207		Drywall Total	45,000.00	GSF	\$5.43	\$244,200
208		INTERIOR CONSTRUCTION Total	45,000.00	GSF	\$8.43	\$379,200
209	11 FP - FIRE PROTECTION					
210	21 A - Fire Protection					
211	Fire Protection Package		45,000.00	GSF	\$3.00	\$135,000
212		Fire Protection Total	45,000.00	GSF	\$3.00	\$135,000
213		FIRE PROTECTION Total	45,000.00	GSF	\$3.00	\$135,000
214	12 P - PLUMBING					
215	22 A - Plumbing					
216	Plumbing Package		45,000.00	GSF	\$9.15	\$411,750
217		Plumbing Total	45,000.00	GSF	\$9.15	\$411,750
218		PLUMBING Total	45,000.00	GSF	\$9.15	\$411,750
219	13 M - HVAC					
220	23 A - HVAC					
221	HVAC Package - Distribution Systems		45,000.00	GSF	\$14.50	\$652,500
222		HVAC Total	45,000.00	GSF	\$14.50	\$652,500
223		HVAC Total	45,000.00	GSF	\$14.50	\$652,500
224	15 E - ELECTRICAL					
225	26 A - Electrical					
226	Electrical Package		45,000.00	GSF	\$16.00	\$720,000
227		Electrical Total	45,000.00	GSF	\$16.00	\$720,000
228		ELECTRICAL Total	45,000.00	GSF	\$16.00	\$720,000
229		A1 Phase 1 Vehicle Storage Total	45,000.00	GSF	\$185.63	\$8,353,430

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
231	A1 Phase 2 License Center/Dance Studio					
232	02 SW - SITEWORK/BUILDING EARTHWORK					
233	31 A - Site Clearing & Earthwork					
234	Footing/Foundation Excavation		9,769.00	SF	\$5.50	\$53,730
235	Site Clearing & Earthwork Total		19,600.00	GSF	\$2.74	\$53,730
236	SITEWORK/BUILDING EARTHWORK Total		19,600.00	GSF	\$2.74	\$53,730
237	03 FS - FOUNDATION / SOG					
238	03 A - Concrete					
239	Concrete Foundations		9,800.00	SF	\$15.50	\$151,900
240	Slab on Grade - 04"		9,800.00	SF	\$5.00	\$49,000
241	Vapor Barrier on Grade		9,800.00	SF	\$1.00	\$9,800
242	Concrete Total		19,600.00	GSF	\$10.75	\$210,700
243	FOUNDATION / SOG Total		19,600.00	GSF	\$10.75	\$210,700
244	04 BS - BUILDING STRUCTURE					
245	03 A - Concrete					
246	Concrete Fill on Metal Deck		9,800.00	SF	\$10.00	\$98,000
247	Concrete Total		19,600.00	GSF	\$5.00	\$98,000
248	05 A - Structural Steel Material					
249	Floor Framing (Allow 10#/SF)		49.00	TN	\$3,500.00	\$171,500
250	Roof Framing (Allow 08#/SF)		39.20	TN	\$5,500.00	\$215,600
251	Metal Floor Deck		9,800.00	SF	\$5.00	\$49,000
252	Metal Roof Deck		9,800.00	SF	\$5.00	\$49,000
253	Structural Steel Material Total		19,600.00	GSF	\$24.75	\$485,100
254	05 B - Structure Steel Erection					
255	Roof Framing Erection		39.20	TN	\$1,400.00	\$54,880
256	Floor Framing Erection		49.00	TN	\$1,400.00	\$68,600
257	Metal Floor Deck Erection		9,800.00	SF	\$0.75	\$7,350
258	Metal Roof Deck Erection		9,800.00	SF	\$0.75	\$7,350
259	Structure Steel Erection Total		19,600.00	GSF	\$7.05	\$138,180
260	BUILDING STRUCTURE Total		19,600.00	GSF	\$36.80	\$721,280
261	05 EE - EXTERIOR ENCLOSURE					
262	04 A - Masonry					
263	Masonry Veneer - (55%) - 431 LF Perimeter x 30' Height)		7,111.50	SF	\$45.00	\$320,018
264	Masonry Total		19,600.00	GSF	\$16.33	\$320,018
265	07 B - Insulation					
266	Cavity Wall Insulation		5,412.00	SF	\$6.00	\$32,472
267	Insulation Total		19,600.00	GSF	\$1.66	\$32,472
268	07 D - Exterior Weather Barrier					
269	Weather Barrier (70%)		9,051.00	SF	\$5.50	\$49,781
270	Exterior Weather Barrier Total		19,600.00	GSF	\$2.54	\$49,781
271	07 F - Metal Panel/Roof					
272	Metal Panels (15%)		1,939.50	SF	\$75.00	\$145,463
273	Metal Panel/Roof Total		19,600.00	GSF	\$7.42	\$145,463
274	08 F - Entrances/Storefront/Curtainwall					
275	Entrances and Storefronts (30%)		3,879.00	SF	\$90.00	\$349,110
276	Entrances/Storefront/Curtainwall Total		19,600.00	GSF	\$17.81	\$349,110

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
277	09 A - Drywall					
278	Exterior Stud Backup/Sheathing/Insulation Assembly (70%)		4,821.60	SF	\$18.00	\$86,789
279	Drywall Total		19,600.00	GSF	\$4.43	\$86,789
280	EXTERIOR ENCLOSURE Total		19,600.00	GSF	\$50.19	\$983,631
281	06 R - ROOF					
282	07 H - Roofing					
283	Roofing Package		9,800.00	SF	\$25.00	\$245,000
284	Roofing Total		19,600.00	GSF	\$12.50	\$245,000
285	ROOF Total		19,600.00	GSF	\$12.50	\$245,000
286	07 IC - INTERIOR CONSTRUCTION					
287	09 A - Drywall					
288	Interior Finishes		19,600.00	GSF	\$35.00	\$686,000
289	Drywall Total		19,600.00	GSF	\$35.00	\$686,000
290	INTERIOR CONSTRUCTION Total		19,600.00	GSF	\$35.00	\$686,000
291	08 EF - EQUIPMENT FURNITURE					
292	12 I - General Furnishings					
293	General Furnishings		19,600.00	GSF	\$10.00	\$196,000
294	General Furnishings Total		19,600.00	GSF	\$10.00	\$196,000
295	EQUIPMENT FURNITURE Total		19,600.00	GSF	\$10.00	\$196,000
296	10 CS - CONVEYING SYSTEMS					
297	14 B - Elevators					
298	Elevator Package		2.00	ST	\$80,000.00	\$160,000
299	Elevators Total		19,600.00	GSF	\$8.16	\$160,000
300	CONVEYING SYSTEMS Total		19,600.00	GSF	\$8.16	\$160,000
301	11 FP - FIRE PROTECTION					
302	21 A - Fire Protection					
303	Fire Protection Package		19,600.00	GSF	\$4.00	\$78,400
304	Fire Protection Total		19,600.00	GSF	\$4.00	\$78,400
305	FIRE PROTECTION Total		19,600.00	GSF	\$4.00	\$78,400
306	12 P - PLUMBING					
307	22 A - Plumbing					
308	Plumbing Package - Fixtures		19,600.00	GSF	\$12.00	\$235,200
309	Plumbing Total		19,600.00	GSF	\$12.00	\$235,200
310	PLUMBING Total		19,600.00	GSF	\$12.00	\$235,200
311	13 M - HVAC					
312	23 A - HVAC					
313	HVAC Package - Distribution Sytems		19,600.00	GSF	\$55.00	\$1,078,000
314	HVAC Total		19,600.00	GSF	\$55.00	\$1,078,000
315	HVAC Total		19,600.00	GSF	\$55.00	\$1,078,000
316	15 E - ELECTRICAL					
317	26 A - Electrical					
318	Electrical Package		19,600.00	GSF	\$26.00	\$509,600
319	Electrical Total		19,600.00	GSF	\$26.00	\$509,600
320	ELECTRICAL Total		19,600.00	GSF	\$26.00	\$509,600



Roseville Civic Campus Master Plan

Client: City of Roseville
Architect: BKV
Location: Roseville, Minnesota

Date: 09/30/2022
Project Start: TBD
Document Date: 09/09/2022
Conceptual

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
321	A1 Phase 2 License Center/Dance Studio		19,600.00	GSF	\$263.14	\$5,157,541
	Total					

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
323	A1 Phase 2 Site					
324	01 EC - EXISTING CONDITIONS					
325	31 A - Site Clearing & Earthwork					
326	Mass Building Demolition (+/- 30,000 SF Bldg footprint)		900,000.00	CF	\$0.35	\$315,000
327	Selective Site Demolition & Paving Removals		145,614.00	SF	\$1.50	\$218,421
328	Site Clearing & Earthwork Total		145,614.00	SF	\$3.66	\$533,421
329	EXISTING CONDITIONS Total		145,614.00	SF	\$3.66	\$533,421
330	02 SW - SITEWORK/BUILDING EARTHWORK					
331	32 A - Asphalt Paving					
332	Paving Package - HD		7,729.00	SY	\$50.60	\$391,087
333	Aggregate Subbase		4,315.36	TN	\$15.00	\$64,730
334	Asphalt Paving Total		145,614.00	SF	\$3.13	\$455,818
335	32 B - Concrete Paving					
336	Concrete Curb & Gutter		2,527.00	LF	\$26.00	\$65,702
337	Concrete Sidewalk		6,858.00	SF	\$10.00	\$68,580
338	Concrete Paving Total		145,614.00	SF	\$0.92	\$134,282
339	32 E - Modular Retaining Wall					
340	Modular Retaining Wall (Assumes 6' height)		1,314.00	SF	\$45.00	\$59,130
341	Modular Retaining Wall Total		145,614.00	SF	\$0.41	\$59,130
342	32 F - Landscape & Irrigation					
343	Irrigation		47,738.00	SF	\$0.50	\$23,869
344	Sod		7,072.00	SY	\$6.00	\$42,432
345	Landscaping Package		1.00	ALW	\$75,000.00	\$75,000
346	Landscape & Irrigation Total		145,614.00	SF	\$0.97	\$141,301
347	33 A - Site Utilities Package					
348	Water		750.00	LF	\$100.00	\$75,000
349	Hydrants		3.00	EA	\$8,500.00	\$25,500
350	Sanitary		250.00	LF	\$75.00	\$18,750
351	Storm		1,200.00	LF	\$80.00	\$96,000
352	Storm Structures		5.00	EA	\$6,500.00	\$32,500
353	UG Storm Retention System		1.00	EA	\$100,000.00	\$100,000
354	Site Utilities Package Total		145,614.00	SF	\$2.39	\$347,750
355	SITEWORK/BUILDING EARTHWORK Total		145,614.00	SF	\$7.82	\$1,138,281
356	A1 Phase 2 Site Total		145,614.00	SF	\$11.48	\$1,671,702

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
358	A1 Phase 2 VFW					
359	02 SW - SITEWORK/BUILDING EARTHWORK					
360	31 A - Site Clearing & Earthwork					
361	Footing/Foundation Excavation		10,500.00	SF	\$5.50	\$57,750
362	Site Clearing & Earthwork Total		10,500.00	GSF	\$5.50	\$57,750
363	SITEWORK/BUILDING EARTHWORK Total		10,500.00	GSF	\$5.50	\$57,750
364	03 FS - FOUNDATION / SOG					
365	03 A - Concrete					
366	Concrete Foundations		9,800.00	SF	\$15.50	\$151,900
367	Slab on Grade - 04"		9,800.00	SF	\$5.00	\$49,000
368	Vapor Barrier on Grade		9,800.00	SF	\$1.00	\$9,800
369	Concrete Total		10,500.00	GSF	\$20.07	\$210,700
370	FOUNDATION / SOG Total		10,500.00	GSF	\$20.07	\$210,700
371	04 BS - BUILDING STRUCTURE					
372	05 A - Structural Steel Material					
373	Roof Framing (Allow 8#/SF)		42.00	TN	\$5,500.00	\$231,000
374	Metal Roof Deck		10,500.00	SF	\$5.00	\$52,500
375	Structural Steel Material Total		10,500.00	GSF	\$27.00	\$283,500
376	05 B - Structure Steel Erection					
377	Roof Framing Erection		42.00	TN	\$1,400.00	\$58,800
378	Metal Roof Deck Erection		10,500.00	SF	\$0.75	\$7,875
379	Structure Steel Erection Total		10,500.00	GSF	\$6.35	\$66,675
380	BUILDING STRUCTURE Total		10,500.00	GSF	\$33.35	\$350,175
381	05 EE - EXTERIOR ENCLOSURE					
382	04 A - Masonry					
383	Masonry Veneer - (55%) - 396 LF Perimeter x 14' Height)		3,049.20	SF	\$45.00	\$137,214
384	Masonry Total		10,500.00	GSF	\$13.07	\$137,214
385	07 B - Insulation					
386	Cavity Wall Insulation		9,049.00	SF	\$6.00	\$54,294
387	Insulation Total		10,500.00	GSF	\$5.17	\$54,294
388	07 D - Exterior Weather Barrier					
389	Weather Barrier (70%)		3,880.80	SF	\$5.50	\$21,344
390	Exterior Weather Barrier Total		10,500.00	GSF	\$2.03	\$21,344
391	07 F - Metal Panel/Roof					
392	Metal Panels (15%)		831.60	SF	\$75.00	\$62,370
393	Metal Panel/Roof Total		10,500.00	GSF	\$5.94	\$62,370
394	08 F - Entrances/Storefront/Curtainwall					
395	Entrances and Storefronts (30%)		1,663.20	SF	\$90.00	\$149,688
396	Entrances/Storefront/Curtainwall Total		10,500.00	GSF	\$14.26	\$149,688
397	09 A - Drywall					
398	Exterior Stud Backup/Sheathing/Insulation Assembly (70%)		3,880.00	SF	\$18.00	\$69,840
399	Drywall Total		10,500.00	GSF	\$6.65	\$69,840
400	EXTERIOR ENCLOSURE Total		10,500.00	GSF	\$47.12	\$494,750
401	06 R - ROOF					
402	07 H - Roofing					

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
403	Roofing Package		10,500.00	SF	\$25.00	\$262,500
404	Roofing Total		10,500.00	GSF	\$25.00	\$262,500
405	ROOF Total		10,500.00	GSF	\$25.00	\$262,500
406	07 IC - INTERIOR CONSTRUCTION					
407	09 A - Drywall					
408	Interior Finishes		10,500.00	GSF	\$45.00	\$472,500
409	Drywall Total		10,500.00	GSF	\$45.00	\$472,500
410	INTERIOR CONSTRUCTION Total		10,500.00	GSF	\$45.00	\$472,500
411	08 EF - EQUIPMENT FURNITURE					
412	11 F - Food Service					
413	Food Service Equipment		1.00	ALW	\$350,000.00	\$350,000
414	Food Service Total		10,500.00	GSF	\$33.33	\$350,000
415	12 I - General Furnishings					
416	General Furnishings		10,500.00	GSF	\$10.00	\$105,000
417	General Furnishings Total		10,500.00	GSF	\$10.00	\$105,000
418	EQUIPMENT FURNITURE Total		10,500.00	GSF	\$43.33	\$455,000
419	11 FP - FIRE PROTECTION					
420	21 A - Fire Protection					
421	Fire Protection Package		10,500.00	GSF	\$4.00	\$42,000
422	Fire Protection Total		10,500.00	GSF	\$4.00	\$42,000
423	FIRE PROTECTION Total		10,500.00	GSF	\$4.00	\$42,000
424	12 P - PLUMBING					
425	22 A - Plumbing					
426	Plumbing Package - Fixtures		10,500.00	GSF	\$22.00	\$231,000
427	Plumbing Total		10,500.00	GSF	\$22.00	\$231,000
428	PLUMBING Total		10,500.00	GSF	\$22.00	\$231,000
429	13 M - HVAC					
430	23 A - HVAC					
431	HVAC Package - Distribution Systems		10,500.00	GSF	\$55.00	\$577,500
432	HVAC Total		10,500.00	GSF	\$55.00	\$577,500
433	HVAC Total		10,500.00	GSF	\$55.00	\$577,500
434	15 E - ELECTRICAL					
435	26 A - Electrical					
436	Electrical Package		10,500.00	GSF	\$33.00	\$346,500
437	Electrical Total		10,500.00	GSF	\$33.00	\$346,500
438	ELECTRICAL Total		10,500.00	GSF	\$33.00	\$346,500
439	A1 Phase 2 VFW Total		10,500.00	GSF	\$333.37	\$3,500,375

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
441	A1 Phase 3 Admin					
442	01 EC - EXISTING CONDITIONS					
443	02 A - Demolition					
444	Demolition to accomodate addition		1.00	LS	\$50,000.00	\$50,000
445	Demolition Total		14,500.00	GSF	\$3.45	\$50,000
446	EXISTING CONDITIONS Total		14,500.00	GSF	\$3.45	\$50,000
447	04 BS - BUILDING STRUCTURE					
448	03 A - Concrete					
449	Concrete Fill on Metal Deck		14,500.00	SF	\$10.00	\$145,000
450	Concrete Total		14,500.00	GSF	\$10.00	\$145,000
451	05 A - Structural Steel Material					
452	Floor Framing (Allow 10#/SF)		72.50	TN	\$3,500.00	\$253,750
453	Roof Framing (Allow 8#/SF)		58.00	TN	\$5,500.00	\$319,000
454	Metal Floor Deck		14,500.00	SF	\$5.00	\$72,500
455	Metal Roof Deck		14,500.00	SF	\$5.00	\$72,500
456	Structural Steel Material Total		14,500.00	GSF	\$49.50	\$717,750
457	05 B - Structure Steel Erection					
458	Roof Framing Erection		58.00	TN	\$1,400.00	\$81,200
459	Floor Framing Erection		72.50	TN	\$1,400.00	\$101,500
460	Metal Floor Deck Erection		14,500.00	SF	\$0.75	\$10,875
461	Metal Roof Deck Erection		14,500.00	SF	\$0.75	\$10,875
462	Structure Steel Erection Total		14,500.00	GSF	\$14.10	\$204,450
463	BUILDING STRUCTURE Total		14,500.00	GSF	\$73.60	\$1,067,200
464	05 EE - EXTERIOR ENCLOSURE					
465	03 B - Structural Precast					
466	Precast Structural Concrete - 257 LF x 17' Tall		4,369.00	SF	\$60.00	\$262,140
467	Structural Precast Total		14,500.00	GSF	\$18.08	\$262,140
468	08 F - Entrances/Storefront/Curtainwall					
469	Entrances and Storefronts (50%)		2,184.50	SF	\$80.00	\$174,760
470	Entrances/Storefront/Curtainwall Total		14,500.00	GSF	\$12.05	\$174,760
471	EXTERIOR ENCLOSURE Total		14,500.00	GSF	\$30.13	\$436,900
472	06 R - ROOF					
473	07 H - Roofing					
474	Roofing Package		14,500.00	SF	\$25.00	\$362,500
475	Roofing Total		14,500.00	GSF	\$25.00	\$362,500
476	ROOF Total		14,500.00	GSF	\$25.00	\$362,500
477	07 IC - INTERIOR CONSTRUCTION					
478	09 A - Drywall					
479	Interior Finishes		14,500.00	GSF	\$55.00	\$797,500
480	Drywall Total		14,500.00	GSF	\$55.00	\$797,500
481	INTERIOR CONSTRUCTION Total		14,500.00	GSF	\$55.00	\$797,500
482	08 EF - EQUIPMENT FURNITURE					
483	12 I - General Furnishings					
484	General Furnishings		14,500.00	GSF	\$8.00	\$116,000
485	General Furnishings Total		14,500.00	GSF	\$8.00	\$116,000
486	EQUIPMENT FURNITURE Total		14,500.00	GSF	\$8.00	\$116,000
487	10 CS - CONVEYING SYSTEMS					

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
488	14 B - Elevators					
489	Elevator Package		2.00	ST	\$80,000.00	\$160,000
490	Elevators Total		14,500.00	GSF	\$11.03	\$160,000
491	CONVEYING SYSTEMS Total		14,500.00	GSF	\$11.03	\$160,000
492	11 FP - FIRE PROTECTION					
493	21 A - Fire Protection					
494	Fire Protection Package		14,500.00	GSF	\$4.00	\$58,000
495	Fire Protection Total		14,500.00	GSF	\$4.00	\$58,000
496	FIRE PROTECTION Total		14,500.00	GSF	\$4.00	\$58,000
497	12 P - PLUMBING					
498	22 A - Plumbing					
499	Plumbing Package		14,500.00	GSF	\$20.00	\$290,000
500	Plumbing Total		14,500.00	GSF	\$20.00	\$290,000
501	PLUMBING Total		14,500.00	GSF	\$20.00	\$290,000
502	13 M - HVAC					
503	23 A - HVAC					
504	HVAC Package - Distribution Sytems		14,500.00	GSF	\$55.00	\$797,500
505	HVAC Total		14,500.00	GSF	\$55.00	\$797,500
506	HVAC Total		14,500.00	GSF	\$55.00	\$797,500
507	15 E - ELECTRICAL					
508	26 A - Electrical					
509	Electrical Package		14,500.00	GSF	\$30.00	\$435,000
510	Electrical Total		14,500.00	GSF	\$30.00	\$435,000
511	ELECTRICAL Total		14,500.00	GSF	\$30.00	\$435,000
512	A1 Phase 3 Admin Total		14,500.00	GSF	\$315.21	\$4,570,600

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
514	A1 Phase 3 Covered Storage					
515	03 FS - FOUNDATION / SOG					
516	03 A - Concrete					
517	Concrete Foundations		6,800.00	SF	\$17.00	\$115,600
518	Slab on Grade - 08"		6,800.00	SF	\$11.00	\$74,800
519	Vapor Barrier on Grade		6,800.00	SF	\$1.00	\$6,800
520	Concrete Total		6,800.00	GSF	\$29.00	\$197,200
521	FOUNDATION / SOG Total		6,800.00	GSF	\$29.00	\$197,200
522	09 SC - SPECIAL CONSTRUCTION					
523	13 I - Pre-Engineered Metal Buildings					
524	Pre-Engineered Metal Buildings		6,800.00	SF	\$40.00	\$272,000
525	Pre-Engineered Metal Buildings Total		6,800.00	GSF	\$40.00	\$272,000
526	SPECIAL CONSTRUCTION Total		6,800.00	GSF	\$40.00	\$272,000
527	15 E - ELECTRICAL					
528	26 A - Electrical					
529	Electrical Package		8,200.00	GSF	\$6.00	\$49,200
530	Electrical Total		6,800.00	GSF	\$7.24	\$49,200
531	ELECTRICAL Total		6,800.00	GSF	\$7.24	\$49,200
532	A1 Phase 3 Covered Storage Total		6,800.00	GSF	\$76.24	\$518,400

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
534	A1 Phase 3 Fleet Fueling					
535	02 SW - SITEWORK/BUILDING EARTHWORK					
536	33 A - Site Utilities Package					
537	Fuel System		1.00	LS	\$400,000.00	\$400,000
538	- 10,000 Gal Fiberglass Tanks		2.00	EA		
539	- Dual Product Dispensing Pumps		2.00	EA		
540	- Fuel Island Canopy		1.00	EA		
541	Fuel Island Concrete Island		1.00	EA	\$3,000.00	\$3,000
542	Fuel Island Concrete Paving		3,600.00	SF	\$8.00	\$28,800
543	Site Utilities Package Total		1.00	EA	\$431,800.00	\$431,800
544	SITEWORK/BUILDING EARTHWORK Total		1.00	EA	\$431,800.00	\$431,800
545	A1 Phase 3 Fleet Fueling Total		1.00	EA	\$431,800.00	\$431,800

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
547	A1 Phase 3 Salt & Sand Storage					
548	02 SW - SITEWORK/BUILDING EARTHWORK					
549	31 A - Site Clearing & Earthwork					
550	Footing/Foundation Excavation		11,510.00	SF	\$2.50	\$28,775
551	Site Clearing & Earthwork Total		11,510.00	GSF	\$2.50	\$28,775
552	SITEWORK/BUILDING EARTHWORK Total		11,510.00	GSF	\$2.50	\$28,775
553	03 FS - FOUNDATION / SOG					
554	03 A - Concrete					
555	Concrete Foundations		11,510.00	SF	\$2.00	\$23,020
556	Slab on Grade - 08"		11,510.00	SF	\$9.00	\$103,590
557	Vapor Barrier on Grade		11,510.00	SF	\$1.00	\$11,510
558	Concrete Total		11,510.00	GSF	\$12.00	\$138,120
559	FOUNDATION / SOG Total		11,510.00	GSF	\$12.00	\$138,120
560	04 BS - BUILDING STRUCTURE					
561	03 B - Structural Precast					
562	Precast Roof Structure		11,510.00	SF	\$27.00	\$310,770
563	Structural Precast Total		11,510.00	GSF	\$27.00	\$310,770
564	BUILDING STRUCTURE Total		11,510.00	GSF	\$27.00	\$310,770
565	05 EE - EXTERIOR ENCLOSURE					
566	03 B - Structural Precast					
567	Precast Structural Concrete = 460 LF x 30' tall		13,800.00	SF	\$60.00	\$828,000
568	Structural Precast Total		11,510.00	GSF	\$71.94	\$828,000
569	EXTERIOR ENCLOSURE Total		11,510.00	GSF	\$71.94	\$828,000
570	06 R - ROOF					
571	07 H - Roofing					
572	Roofing Package		11,510.00	SF	\$25.00	\$287,750
573	Roofing Total		11,510.00	GSF	\$25.00	\$287,750
574	ROOF Total		11,510.00	GSF	\$25.00	\$287,750
575	12 P - PLUMBING					
576	22 A - Plumbing					
577	Plumbing Package		11,510.00	GSF	\$7.00	\$80,570
578	Plumbing Total		11,510.00	GSF	\$7.00	\$80,570
579	PLUMBING Total		11,510.00	GSF	\$7.00	\$80,570
580	13 M - HVAC					
581	23 A - HVAC					
582	HVAC Package - @ Brine		400.00	GSF	\$40.00	\$16,000
583	HVAC Total		11,510.00	GSF	\$1.39	\$16,000
584	HVAC Total		11,510.00	GSF	\$1.39	\$16,000
585	15 E - ELECTRICAL					
586	26 A - Electrical					
587	Electrical Package		2,850.00	GSF	\$4.00	\$11,400
588	Electrical Total		11,510.00	GSF	\$0.99	\$11,400
589	ELECTRICAL Total		11,510.00	GSF	\$0.99	\$11,400
590	A1 Phase 3 Salt & Sand Storage Total		11,510.00	GSF	\$147.82	\$1,701,385

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
592	A1 Phase 3 Shops					
593	01 EC - EXISTING CONDITIONS					
594	02 A - Demolition					
595	Demolition to accomodate addition		1.00	LS	\$50,000.00	\$50,000
596	Demolition Total		14,500.00	GSF	\$3.45	\$50,000
597	EXISTING CONDITIONS Total		14,500.00	GSF	\$3.45	\$50,000
598	02 SW - SITEWORK/BUILDING EARTHWORK					
599	31 A - Site Clearing & Earthwork					
600	Footing/Foundation Excavation		14,500.00	SF	\$2.50	\$36,250
601	Site Clearing & Earthwork Total		14,500.00	GSF	\$2.50	\$36,250
602	SITEWORK/BUILDING EARTHWORK Total		14,500.00	GSF	\$2.50	\$36,250
603	03 FS - FOUNDATION / SOG					
604	03 A - Concrete					
605	Concrete Foundations		14,500.00	SF	\$10.00	\$145,000
606	Slab on Grade - 06"		14,500.00	SF	\$7.00	\$101,500
607	Vapor Barrier on Grade		14,500.00	SF	\$1.00	\$14,500
608	Concrete Total		14,500.00	GSF	\$18.00	\$261,000
609	FOUNDATION / SOG Total		14,500.00	GSF	\$18.00	\$261,000
610	05 EE - EXTERIOR ENCLOSURE					
611	03 B - Structural Precast					
612	Precast Structural Concrete = 257 LF x 17' tall		4,369.00	SF	\$65.00	\$283,985
613	Structural Precast Total		14,500.00	GSF	\$19.59	\$283,985
614	08 E - Traffic Doors/Overhead/Folding/Coiling					
615	OH Doors		1.00	EA	\$10,000.00	\$10,000
616	Traffic Doors/Overhead/Folding/Coiling Total		14,500.00	GSF	\$0.69	\$10,000
617	08 F - Entrances/Storefront/Curtainwall					
618	Entrances and Storefronts (30%)		1,423.00	SF	\$80.00	\$113,840
619	Entrances/Storefront/Curtainwall Total		14,500.00	GSF	\$7.85	\$113,840
620	EXTERIOR ENCLOSURE Total		14,500.00	GSF	\$28.13	\$407,825
621	06 R - ROOF					
622	07 H - Roofing					
623	Roofing Package		7,200.00	SF	\$25.00	\$180,000
624	Roofing Total		14,500.00	GSF	\$12.41	\$180,000
625	ROOF Total		14,500.00	GSF	\$12.41	\$180,000
626	07 IC - INTERIOR CONSTRUCTION					
627	08 E - Traffic Doors/Overhead/Folding/Coiling					
628	OH Doors		7.00	EA	\$10,000.00	\$70,000
629	Traffic Doors/Overhead/Folding/Coiling Total		14,500.00	GSF	\$4.83	\$70,000
630	09 A - Drywall					
631	Interior Finishes		14,500.00	GSF	\$30.00	\$435,000
632	Drywall Total		14,500.00	GSF	\$30.00	\$435,000
633	INTERIOR CONSTRUCTION Total		14,500.00	GSF	\$34.83	\$505,000
634	08 EF - EQUIPMENT FURNITURE					
635	11 O - General Equipment					

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
636	General Equipment		14,500.00	GSF	\$3.00	\$43,500
637	General Equipment Total		14,500.00	GSF	\$3.00	\$43,500
638	12 I - General Furnishings					
639	General Furnishings		14,500.00	GSF	\$3.00	\$43,500
640	General Furnishings Total		14,500.00	GSF	\$3.00	\$43,500
641	EQUIPMENT FURNITURE Total		14,500.00	GSF	\$6.00	\$87,000
642	11 FP - FIRE PROTECTION					
643	21 A - Fire Protection					
644	Fire Protection Package		14,500.00	GSF	\$3.50	\$50,750
645	Fire Protection Total		14,500.00	GSF	\$3.50	\$50,750
646	FIRE PROTECTION Total		14,500.00	GSF	\$3.50	\$50,750
647	12 P - PLUMBING					
648	22 A - Plumbing					
649	Plumbing Package		14,500.00	GSF	\$12.00	\$174,000
650	Plumbing Total		14,500.00	GSF	\$12.00	\$174,000
651	PLUMBING Total		14,500.00	GSF	\$12.00	\$174,000
652	13 M - HVAC					
653	23 A - HVAC					
654	HVAC Package - Distribution Systems		14,500.00	GSF	\$30.00	\$435,000
655	HVAC Total		14,500.00	GSF	\$30.00	\$435,000
656	HVAC Total		14,500.00	GSF	\$30.00	\$435,000
657	15 E - ELECTRICAL					
658	26 A - Electrical					
659	Electrical Package		14,500.00	GSF	\$25.00	\$362,500
660	Electrical Total		14,500.00	GSF	\$25.00	\$362,500
661	ELECTRICAL Total		14,500.00	GSF	\$25.00	\$362,500
662	A1 Phase 3 Shops Total		14,500.00	GSF	\$175.82	\$2,549,325

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
664	A1 Phase 3 Site					
665	01 EC - EXISTING CONDITIONS					
666	31 A - Site Clearing & Earthwork					
667	Mass Building Demolition (+/- 60,000 SF Bldg footprint)		1,200,000.00	CF	\$0.35	\$420,000
668	Selective Site Demolition & Paving Removals		180,000.00	SF	\$1.50	\$270,000
669	Site Clearing & Earthwork Total		199,000.00	SF	\$3.47	\$690,000
670	EXISTING CONDITIONS Total		199,000.00	SF	\$3.47	\$690,000
671	02 SW - SITEWORK/BUILDING EARTHWORK					
672	31 A - Site Clearing & Earthwork					
673	Grading		199,000.00	SF	\$1.00	\$199,000
674	Site Clearing & Earthwork Total		199,000.00	SF	\$1.00	\$199,000
675	32 A - Asphalt Paving					
676	Paving Package - HD		15,459.00	SY	\$50.60	\$782,225
677	Aggregate Subbase		8,631.28	TN	\$15.00	\$129,469
678	Asphalt Paving Total		199,000.00	SF	\$4.58	\$911,695
679	32 B - Concrete Paving					
680	Concrete Curb & Gutter		1,000.00	LF	\$26.00	\$26,000
681	Concrete Paving - Heavy Duty Aprons		1,500.00	SF	\$20.00	\$30,000
682	Concrete Sidewalk		7,600.00	SF	\$10.00	\$76,000
683	Concrete Paving Total		199,000.00	SF	\$0.66	\$132,000
684	32 D - Fence Package					
685	Black Vinyl Coated Fencing 8' Tall		694.00	LF	\$35.00	\$24,290
686	Vertical Lift Arm Gates		2.00	EA	\$20,000.00	\$40,000
687	Fence Package Total		199,000.00	SF	\$0.32	\$64,290
688	32 F - Landscape & Irrigation					
689	Landscaping Package		1.00	ALW	\$30,000.00	\$30,000
690	Landscape & Irrigation Total		199,000.00	SF	\$0.15	\$30,000
691	33 A - Site Utilities Package					
692	Water		300.00	LF	\$65.00	\$19,500
693	Hydrants		3.00	EA	\$6,500.00	\$19,500
694	Storm		500.00	LF	\$80.00	\$40,000
695	Storm Structures		8.00	EA	\$6,500.00	\$52,000
696	UG Storm Retention System		1.00	EA	\$100,000.00	\$100,000
697	Site Utilities Package Total		199,000.00	SF	\$1.16	\$231,000
698	SITEWORK/BUILDING EARTHWORK Total		199,000.00	SF	\$7.88	\$1,567,985
699	A1 Phase 3 Site Total		199,000.00	SF	\$11.35	\$2,257,985

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
701	A1 Phase 3 Vehicle Storage					
702	02 SW - SITEWORK/BUILDING EARTHWORK					
703	31 A - Site Clearing & Earthwork					
704	Footing/Foundation Excavation		29,500.00	SF	\$2.50	\$73,750
705	Site Clearing & Earthwork Total		29,500.00	GSF	\$2.50	\$73,750
706	SITEWORK/BUILDING EARTHWORK Total		29,500.00	GSF	\$2.50	\$73,750
707	03 FS - FOUNDATION / SOG					
708	03 A - Concrete					
709	Concrete Foundations		29,500.00	SF	\$3.00	\$88,500
710	Slab on Grade - 08"		29,500.00	SF	\$11.00	\$324,500
711	Vapor Barrier on Grade		29,500.00	SF	\$1.00	\$29,500
712	Concrete Total		29,500.00	GSF	\$15.00	\$442,500
713	FOUNDATION / SOG Total		29,500.00	GSF	\$15.00	\$442,500
714	04 BS - BUILDING STRUCTURE					
715	05 A - Structural Steel Material					
716	Roof Framing (Allow 8#/SF)		118.00	TN	\$5,500.00	\$649,000
717	Metal Roof Deck		29,500.00	SF	\$5.00	\$147,500
718	Structural Steel Material Total		29,500.00	GSF	\$27.00	\$796,500
719	05 B - Structure Steel Erection					
720	Roof Framing Erection		118.00	TN	\$1,400.00	\$165,200
721	Metal Roof Deck Erection		29,500.00	SF	\$0.75	\$22,125
722	Structure Steel Erection Total		29,500.00	GSF	\$6.35	\$187,325
723	BUILDING STRUCTURE Total		29,500.00	GSF	\$33.35	\$983,825
724	05 EE - EXTERIOR ENCLOSURE					
725	03 B - Structural Precast					
726	Precast Structural Concrete = 501 LF x 34' tall		17,034.00	SF	\$65.00	\$1,107,210
727	Structural Precast Total		29,500.00	GSF	\$37.53	\$1,107,210
728	08 E - Traffic Doors/Overhead/Folding/Coiling					
729	High Speed OH Doors w/Detection Loops		2.00	EA	\$15,000.00	\$30,000
730	Traffic Doors/Overhead/Folding/Coiling Total		29,500.00	GSF	\$1.02	\$30,000
731	08 F - Entrances/Storefront/Curtainwall					
732	Entrances and Storefronts (20%)		3,406.80	SF	\$80.00	\$272,544
733	Entrances/Storefront/Curtainwall Total		29,500.00	GSF	\$9.24	\$272,544
734	EXTERIOR ENCLOSURE Total		29,500.00	GSF	\$47.79	\$1,409,754
735	06 R - ROOF					
736	07 H - Roofing					
737	Roofing Package		29,500.00	SF	\$25.00	\$737,500
738	Smoke Evac Hatches with Skylight Cover		2.00	EA	\$10,000.00	\$20,000
739	Roofing Total		29,500.00	GSF	\$25.68	\$757,500
740	08 J - Skylight					
741	Tubular Skylights		8.00	EA	\$4,000.00	\$32,000
742	Skylight Total		29,500.00	GSF	\$1.08	\$32,000
743	ROOF Total		29,500.00	GSF	\$26.76	\$789,500
744	07 IC - INTERIOR CONSTRUCTION					
745	03 I - Polished Concrete					
746	Burnished Concrete Floor		29,500.00	SF	\$3.00	\$88,500

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
747		Polished Concrete Total	29,500.00	GSF	\$3.00	\$88,500
748	09 A - Drywall					
749	Interior Finishes		29,500.00	GSF	\$5.43	\$160,185
750		Drywall Total	29,500.00	GSF	\$5.43	\$160,185
751		INTERIOR CONSTRUCTION Total	29,500.00	GSF	\$8.43	\$248,685
752	11 FP - FIRE PROTECTION					
753	21 A - Fire Protection					
754	Fire Protection Package		29,500.00	GSF	\$3.00	\$88,500
755		Fire Protection Total	29,500.00	GSF	\$3.00	\$88,500
756		FIRE PROTECTION Total	29,500.00	GSF	\$3.00	\$88,500
757	12 P - PLUMBING					
758	22 A - Plumbing					
759	Plumbing Package		29,500.00	GSF	\$9.15	\$269,925
760		Plumbing Total	29,500.00	GSF	\$9.15	\$269,925
761		PLUMBING Total	29,500.00	GSF	\$9.15	\$269,925
762	13 M - HVAC					
763	23 A - HVAC					
764	HVAC Package - Distribution Sytems		29,500.00	GSF	\$14.50	\$427,750
765		HVAC Total	29,500.00	GSF	\$14.50	\$427,750
766		HVAC Total	29,500.00	GSF	\$14.50	\$427,750
767	15 E - ELECTRICAL					
768	26 A - Electrical					
769	Electrical Package		29,500.00	GSF	\$16.00	\$472,000
770		Electrical Total	29,500.00	GSF	\$16.00	\$472,000
771		ELECTRICAL Total	29,500.00	GSF	\$16.00	\$472,000
772		A1 Phase 3 Vehicle Storage Total	29,500.00	GSF	\$176.48	\$5,206,189



Roseville Civic Campus Master Plan

Client: City of Roseville
Architect: BKV
Location: Roseville, Minnesota

Date: 09/30/2022
Project Start: TBD
Document Date: 09/09/2022
Conceptual

Row #	Item Description	Note	QTY	UOM	Unit Price	Total
774	Subtotal		187,330.00	GSF	\$241.06	\$45,158,409

TRANSMITTAL LETTER *via email*

October 6, 2022

RE:
Roseville Civic Campus PreDesign
Roseville, MN | Job: 21105 ROSC

Attention: Mr. Dustin Phillips, MSCM | Sr. Project Manager
Cc: Mr. Audie Miller | Pre-Construction Services Group Manager
Kraus Anderson Companies
501 South Eight Street
Minneapolis, MN 55404
Email: dustin.phillips@krausanderson.com
Email: audie.miller@krausanderson.com

RE: **Roseville Civic Center Campus Expansion**
Feasibility / Conceptual Pre-Design Estimate – DMV/License/Dance Building

Dear Dustin,

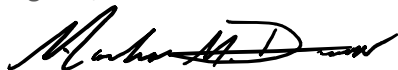
This letter serves as EDEN Resources submittal of a conceptual level estimate for the DMV/License and Dance Center, planned for the Roseville Civic Center Expansion. The estimate is provided in response to the Pre-Design by BKV Group, in prep for the upcoming city council meeting and final reporting. The estimate is pursuant our reviews and discussion earlier this week, it has been adjusted to reflect our model-1 estimate, version-low *and* that of K/A's initial cost exchange.

The enclosed is based on (i) model/block plans provided by BKV in mid-September and (ii) our most recent reviews on October 3, 2022. We agree on system allocations, general approach and clarifications. EDEN Resources concurs with Kraus-Anderson estimate, quantities (at 19,600 sf) and approach to account for contingency (up to 15% for design/construction), escalation (7%+), and scale up measures for both MnB3 and Net Zero Sustainability goals. The estimate is a fair comparable, proposed cost composite. Understanding that systems narratives are yet to be developed by the design lead in future design phases, we have assigned preliminary percentages of incremental costs as recommendations. These appear to align to that of Kraus-Anderson and the City of Roseville's expectations.

Refer to pdf-page 2 - for our estimate detail by division. Our basis of estimate for systems narratives, are as previously provided or reviewed with you and Susan. We will yield to your recommendations for (the extent of) content to include in the overall campus, master estimate; yet as instructed, we are providing our supporting documentation for the DMV/License Center.

We believe this to be responsive. Should you have any questions with the content here-in, please contact me.

Regards,



Mariaha M. Dean, MAEL, LEED AP | EDEN Resources | Tel: 651.233.7861

Cc: _____ ER Job File | Roseville Civic Center Campus, Estimate

RE: Roseville Civic Center Campus Expansion
Feasibility / Conceptual Pre-Design Estimate – DMV/License/Dance Building

EDEN Resources, 10/03/2022						21105 ROSC
NO.	ITEM DESCRIPTION	CSI-DIV	QTY	UoM	\$ / UNIT	Budgeted (\$)
0			C/FSD	Concept'l	Roseville DMV-License Center	
1			1-NEW	19,300	\$ 323.85	\$ 6,250,305
2	EXISTING CONDITIONS	DIV 00	19,300	SF	\$ 3.75	\$ 72,375
3	SITE/EARTHWORK & DEMOLITION	DIV 31	19,300	SF	\$ 4.50	\$ 86,850
4	SITE UTILITIES	DIV 33	19,300	SF	\$ 10.55	\$ 203,615
5	SITE IMPROVEMENTS - LANDSCAPING	DIV 32	19,300	SF	\$ 7.00	\$ 135,100
6	SUBSTRUCTURE - CONCRETE, MASONRY	DIV 03	19,300	SF	\$ 15.50	\$ 299,150
7	STRUCTURE	DIV 05	19,300	SF	\$ 38.55	\$ 744,015
8	EXTERIOR CONSTRUCTION	DIV 04	19,300	SF	\$ 71.50	\$ 1,379,950
9	CARPENTRY - ROOFING	DIV 06	19,300	SF	\$ -	\$ -
10	THERMAL, MOISTURE PROTECTION	DIV 07	19,300	SF	\$ -	\$ -
11	OPENINGS - DOORS, ENTRANCES	DIV 08	19,300	SF	\$ -	\$ -
12	INTERIOR CONSTRUCTION	DIV 09	19,300	SF	\$ 20.00	\$ 386,000
13	CARPENTRY - FINISH	DIV 06	19,300	SF	\$ 10.00	\$ 193,000
14	FINISHES	DIV 09	19,300	SF	\$ 17.50	\$ 337,750
15	SPECIAL EQUIPMENT	DIV 10	19,300	SF	\$ 2.00	\$ 38,600
16	CONVEYING SYSTEM	DIV 14	19,300	SF	\$ 9.95	\$ 192,035
17	PLUMBING	DIV 15	19,300	SF	\$ 15.00	\$ 289,500
18	FIRE PROTECTION	DIV 21	19,300	SF	\$ 4.55	\$ 87,815
19	MECHANICAL (HVAC)	DIV 23	19,300	SF	\$ 64.50	\$ 1,244,850
20	ELECTRICAL	DIV 26	19,300	SF	\$ 28.50	\$ 550,050
21	FF&E - SAFETY, SECURITY, COMMUNICATIONS	DIV 27	19,300	SF	\$ 4.25	\$ 82,025
22	BUILDING & SITE CONSTRUCTION - SUBTOTAL					\$ 6,250,305
23	CONTRACTOR - GENERAL CONDITIONS	DIV 01	19,300	SF	\$ 69.74	
24	SUPERVISION, MGMT, OH, CONTRACT GC	1500	30	WKS	\$ 21,500	\$ 636,615
25	PERMIT, LICENSES	1506	0.0165	PERC	\$ 6,250,305	\$ 103,130
26	INSURANCE	1507	0.01	PERC	\$ 6,250,305	\$ 62,503
27	BONDS	1507	0.0175	PERC	\$ 6,250,305	\$ 109,380
28	TAX - STATE (MN), SALES TAX - MATERIALS	1508	0.06785	PERC	\$ 3,468,919	\$ 235,366
29	ESTIMATE ADJUSTMENT - TAX EXEMPT	1508	1	LS	\$ (235,366)	\$ (235,366)
30	CONTRACTOR - GC FEE	500	0.0695	PERC	\$ 6,250,305	\$ 434,396
31	CONTINGENCY - PROJECT (10%)	1508	0.1	PERC	\$ 6,250,305	\$ 625,031
32	ESCALATION (3.5%, 5%, 8%) - 2024+ MARKET	1508	0.079	8% INCL	\$ 6,250,305	\$ 493,774
33	CONSTRUCTION ESTIMATE - TOTAL					\$ 8,715,134

21-105 ROSC | ROSEVILLE CIVIC CENTER CAMPUS DESIGN - EXPANSION

Master Planning Pre-Design | Model Estimates | **DRAFT v0.0**

Pre-Design Master Feasibility Plans, dated 5.13 - 9.14.2022 / BKV Group

Model Estimate-1, 9.29.2022 / EDEN Resources

Area / Description	SF	\$/SF - LOW	subtotal
1st Floor / DMV-Passport	9,900	\$ 355.00	\$ 3,514,500
2nd Floor / Dance Studio	9,400	\$ 305.00	\$ 2,867,000
Sitework - Greenscape, Walks	17,000	\$ 16.50	\$ 280,500
Subtotal, Building & Sitework	19,300		\$ 6,662,000
Contractor - GC's			\$ 705,839
D/C Contingency - 10%			\$ 666,200
Subtotal - II		\$ 416.27	\$ 8,034,039
Escalation (2024, 2025) / 8%			\$ 532,960
Geographical Factor, MN / ok		considered	\$ -
Subtotal - III		\$ 443.89	\$ 8,566,999
Consider - Owner Items, add			
ADD ALT-1: Renewables		INCL- 12%	\$ 964,085
ADD ALT-2: Net Zero		INCL- 15%	\$ 1,205,106
ADD ALT-3: FF&E, Furnishings		LS-ALLW	\$ 450,000
ADD ALT-4: Move, Relocates		LS-ALLW	\$ 295,000

<<< EDENr - MODEL Estimates v0.0 – Low Model, strong

Roseville Civic Campus Pre-Design Community Engagement Report



CE Report, v1.0

10/4/2022

Community Engagement Report

Roseville Civic Campus Pre-Design

Roseville, Minnesota

October 2022

Prepared by:



Prepared for: Architect of Record



In Care of - Job Sponsor: City of Roseville, Public Works



1. INTRODUCTION

EDEN Resources was hired by BKV Group (Architectural firm), as subconsultant, for community engagement for the City of Roseville Civic Center Campus Expansion Pre-Design efforts. Additionally, EDEN Resources served in role to BKV Group to provide conceptual estimates for the License and Passport Centers for the City of Roseville expansion project. Previously, in early 2020, The City of Roseville engaged a separate firm, under separate contract to design and implement an inclusive community engagement process. Due to global disruptions of the pandemic, the initial engagement efforts were suspended; the process was re-started and completed in 2022, by EDEN Resources in role with BKV Group and governance by the City of Roseville.

The City of Roseville Civic Campus Expansion Pre-Design plan is nearly complete, as of q3.2022. Proposed changes presently include, relocation, consolidation and new construction of the maintenance facility building and yard operations, the license center, passport center, dance studio, and the VFW building. The proposed new campus design is centered on a new public green space; offered to support the immediate and longer term expansion goals for Roseville City Hall. This is a comprehensive report of the EDEN Resources Community Engagement process as well as the Roseville Civic Campus Community Engagement outcome and findings.

2. Engagement Events

- Lexington and Griggs Residents Open House-I, 3/24/2022
 - 14 Attendees
- Amira Senior Living, 4/11/2022
 - 6 attendees
- Lexington and Griggs Residents Open House-II, 8/18/2022
 - 9 Attendees
- Lexington Apartments Informational, 9/21/2022
 - 8 Attendees
- Roseville General Public Open House-I, 9/22/2022
 - 7 Attendees

Engagement Materials included varied form(at)s by BKV Group and Oertel Architects: virtual, 2-D/3-D model, floorplans, narratives, block plans, preliminary building material selections, & case study of comparable area Public Work Facilities

CITY of ROSEVILLE - CIVIC CAMPUS EXPANSION	
EDEN Resources Job 21105 ROSC	
revision: Sept 6th , 2022	
COMMUNITY ENGAGEMENT STATUS Completed	
1	Newsletter/Article : March/April ☒
2	Inform / Reach Out Stakeholders ☒
3	Civic Campus Community Engagment Survey ☒
4	Roseville Civic Campus Open House: Lexington & Griggs Residents ☒
5	Frequently Asked Questions Informational ☒
6	Distributed 600+ Postcards, Near/Neighbors ☒
7	Engage Landlords/Property Managers ☒
8	Engage/Inform: Amira Senior Living ☒
9	Distributions of Informational Postcards ☒
	NextDoor Online Engagement : Informational ☒
	Lexington Apartments : Informational Session ☒
10	Roseville Civic Campus Open House-II : Landords/Residents/Businesses ☒

3. Engagement Methods and Discoveries

This portion of the report details the quantitative and qualitative collection of engagement taken via various activities and collection methods. It will go on to report and highlight key information and feedback gathered from stakeholders of the Roseville Civic Campus. This information was gathered directly from Roseville residents to help inform and shape the design team's understanding of community and neighbors deepest concerns, values, insights and to assist in mitigating undesirable outcomes of the forthcoming design. In each of the engagement events, the team of BKV Group, EDEN Resources and the City of Roseville were deliberate to address any expressed concerns by the public about processes of the development plans. In kind, reported findings were summarized and presented to the Roseville City Council in spring and fall of 2022.



Photo's shown: City of Roseville Council Chambers, Engagement (EDEN Resources, 2022)

3.1 In Person Informational Sessions

This section identifies and details the most pertinent themes and concerns recorded from the stakeholders during the in person informational sessions. In order to best provide the most compact and comprehensive report, the findings across all in person engagements have been summarized below.

Prevailing Themes

1. Maintenance Facility

- a. Maintenance facility view is not desirable overlook in the backyard of their homes
- b. Expressed concerns about how aesthetically pleasing the maintenance facility will be
- c. Concerns about pedestrian traffic and path(s) of travel; around the maintenance yard and building at Lexington, and expressly not in the back of homes, at berm
- d. Residents expressed preference for a community building or space within the new campus for community use or a public gathering space
- e. Some felt it was a waste to get rid of existing buildings instead of doing demo why not re-use or re-purpose

- f. Inquires about the extent of the public art wall, goal is to have a feature that draws people from the intersection of Lexington and Woodhill to the center of campus
- g. Concerns regarding impacts to traffic, both during construction & city operations
- h. Review of buffer zones of green space between property line(s) and Roseville
- i. Remedies of butters include berms, trees, or public art wall at fencing or façade
- j. Recommendation of why not move maintenance facility to the other side of Woodhill, the busier side of Woodhill – north
- k. Inquiries about storm water drainage, contained on the site or possibility of any runoff into neighboring properties

I. Noise Mitigation

- a. Concerns expressed over the views, use, noise created by relocating maintenance north of Woodhill
- b. Residents had concern regarding anticipated hours of construction
- c. Residents concerned about after-hours noise; snow emergencies and operations
- d. Discussion of expectation of operation and equipment needs based on seasonal changes
- e. Worries of pollution of operations and construction activities

II. Veterans Park removal concerns

- a. Residents would not like a smaller play area
- b. Residents would simply use the park across Woodhill, Howard Johnson Parks or others nearby
- c. Concerns of softball field relocation for youth leagues
- d. Disappointment with loss of green space, veteran's field
- e. Concerns of park traffic with more people walking to Howard Johnson Park

III. Funding Concerns

- a. Residents wanted to consider different funding options for the project, increased sales tax, or levy bonds
- b. Expected decrease in property value, how and when will these be assessed
- c. Discussion of cost feasibility, constraints, property value(s), appraisals,
- d. Discussion of sales tax; not to overwhelm taxpayers and residents with sales tax
- e. Eminent domain discussions; sell, relocate, purchase residential property at Griggs
- f. A number of residents expressed an interest in relocating
- g. Expressed concerns of lose-lose situation by having decreased property values Having to pay a sales tax for expansion and redevelopment, both undesirable
- h. Interested in the process of compensation by the city

IV. Funding Concerns | Owner, Architect Proposed Solutions Preliminary Discussions (sort: per above questions)

- Property value appraisals could be done before expansion; consider market fluctuation at present, at future look-ahead
- Green spaces reorientation at/near Lexington Apartments and core of campus
- Goal of design to include more walkable, sizeable paths for safety to Howard Johnson Park
- Consolidating operations from 3-4 offsites into 1 site. ~100,000GSF; phased work
- Maintenance facility serves as sound buffer; noise in the yard to be self-contained
Circulation of large equipment allows for continuous forward movement of traffic, eliminating the need for continuous backing up / back-up alarms
- Residents encouraged to bring forward concerns to the council
- Storm water drainage is contained within the site, required per civil design effort

3.2 Discovery, Survey Findings

The responses to the Roseville Civic Campus survey represent the perspectives of a unique blend of individuals connected in some way to the City of Roseville, be they residents, business workers or owners, or persons who generally became aware of the forthcoming development efforts.

Survey findings reflect and narrow the targeted stakeholders. Those targeted, are resident neighbors within the 5-mile radius; these individuals were most engaged, although the survey was accessible to a large group of people. Surveys were made available through the City of Roseville's monthly newsletters, direct mailings, and the community engagement firms post cards / flyers, open house interaction, online postings, through Next Door interactions, etc.

Roseville Civic Campus Survey

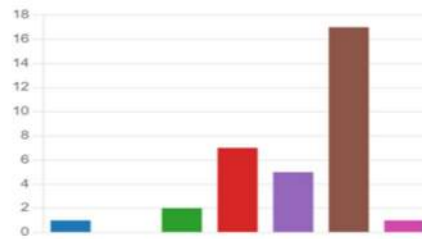


Survey results, indicators, and demographics are provided below.

3. How far away do you live from the City of Roseville's Civic Campus?



5. What is your age?



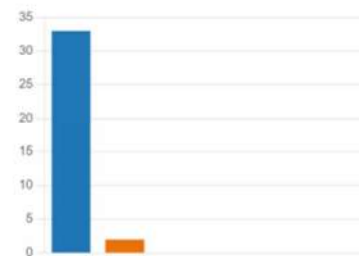
6. What is your gender?



7. What is your ethnicity?



8. What language(s) do you speak? (check all that apply)



9. Email

13
Responses

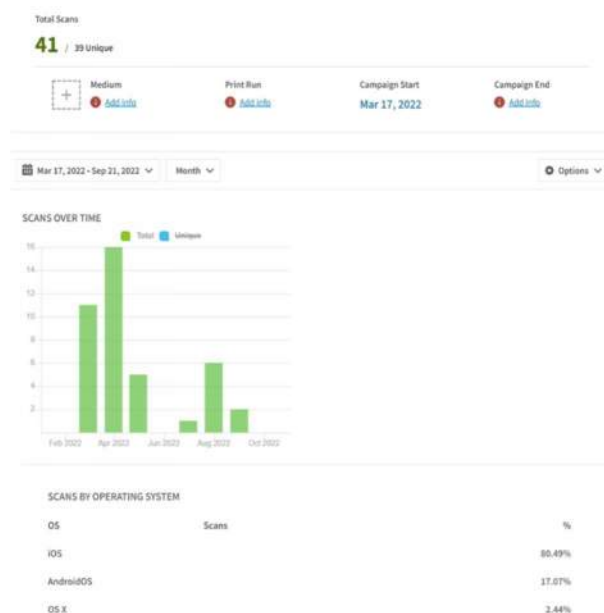
Latest Responses

3.3 Discovery, Survey Comments

Please provide any additional comments/concerns you have regarding Roseville's Civic Center
No comments, im glad it's going to be updated
We live across Lexington from the License Center, so we are quite interested in what would be happening there. I have been at this address for 51 years, so I have seen a number of changes i the neighborhood.
The license center is well known outside Roseville for its excellent service. If its location is changed, excellent signage will be needed. Many areas of the campus are well landscaped. I hope that will continue as the proposed changes are made.
The City of Roseville needs to learn about fiscal responsibility. Why is the new space needed. Why does the city continue to spend more money.
License center needs at least two people on tab renewals and maybe have designated lines/counter space and clerks for title transfer, car dealers, handicapped applications, and just general questions of which line you need. Because they never answer their phones to ask questions it is hard to get answers.
While I appreciate the need for more space in city hall, I think selling this as more green space is dishonest. Replacing veterans park with a strip of grass between parking lots is not more green space
I would like to see way more park & green space retained. Kids need places to run and play. Why is Veterans park and the fields and playground going away?
Is that solar on top of the maintenance area? If so, wonderful! More green space and bike trails
I live across Lexington in Amira apartments.
In the present climate, sometimes I wonder what the plan is if there is any sort of protest at the Civic Center.

3.4 Discovery, QR Code – Scans

We received 41 QR Code Scans; the majority, as expected from the local/state area. Results of the QR code scans represent a positive and consistent correlation between the survey responses and the other forms of engagement collection such as, NextDoor, postcards, and what was heard directly from the in person informational sessions. The code was included in varied forms of printed publication and engagement in order to facilitate the collection of stakeholder feedback and interest. Thus, as the QR code was distributed, the number of responsive engagement increased as a result.



3.5 Discovery, NextDOOR Feedback

Sample-1 | “Maybe I missed it, but will the open space with the soccer fields be lost? While I live in st paul, my grandkids have played soccer on that field. As long as I am messaging you, the lot for sale in the corner of dale/roslawn would make a nice playground spot. I am not aware of any others nearby, although I could be wrong”. - Mark and sheryl H., North Como

Sample-2 | “I am in favor of whatever plan uses the least amount of money”. – Kathryn L

Sample-3 | “Will Veteran’s Park be relocated along with the VFW?” – Ben Brandt

Sample-4 | “It appears the VFW is being reduced to the point of "Why bother?" – Jim Hannegan

4. Conclusion & Summary

In conclusion, the goal of community engagement was achieved. Both the immediate and the targeted stakeholders which include near and near-by neighbors, who will be most impacted and aware of the design and potential campus improvement were actively engaged in the process of pre-design. The stakeholder group were able to express their opinions, ask questions, challenge the process and governing need for the project, and provide feedback. Throughout the community engagement process, many internal-core design team meetings were attended in which the architect, engagement manager, City of Roseville Public Works team, and additionally Pre-Design consultants were able to reflect on the messaging of neighbors. The design and models began to evolve as a result of the stakeholders input and concerns.

Collectively, our efforts resulted in our ability to successfully reach 100% of the residents on Lexington and Griggs. Both properties are neighboring to the Civic Campus and will be most impacted. The residents at the Lexington Apartments were given virtual and printed postcards, in multiple languages of Spanish and Hmong. Dually so, residents at Lexington Apartments who were most concerned and able to, attend the meeting and engaged the team for the full meeting duration of 2-hours.

Statistical achievement and outcome of engagement efforts resulted in approximately 130 of our targeted stakeholder’s direct feedback. Furthermore, we distributed approximately 1,000 postcards in 2-rounds, 4 NextDoor postings which approximately 50 residents viewed, the March/April Newsletter/Article typically targets 1,300 residents which approximately 800 who may actively engage with articles virtually. Present demographics in the City of Roseville includes a population of approximately 36,000 residing residents, with 22,000 residents addresses on file for engagement and outreach. Community Engagement by our team resulted in approximately 9% of Roseville residents being informed or were directly participatory in the Expansion Pre-Design process. This results in a successful measure as our targeted goal was to reach between 8-10%.